

Borough Council of
**King's Lynn &
West Norfolk**



Planning Committee
Monday, 24th April, 2023 at 9.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

- a) **Presentation**

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
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Planning Committee

24 April 2023

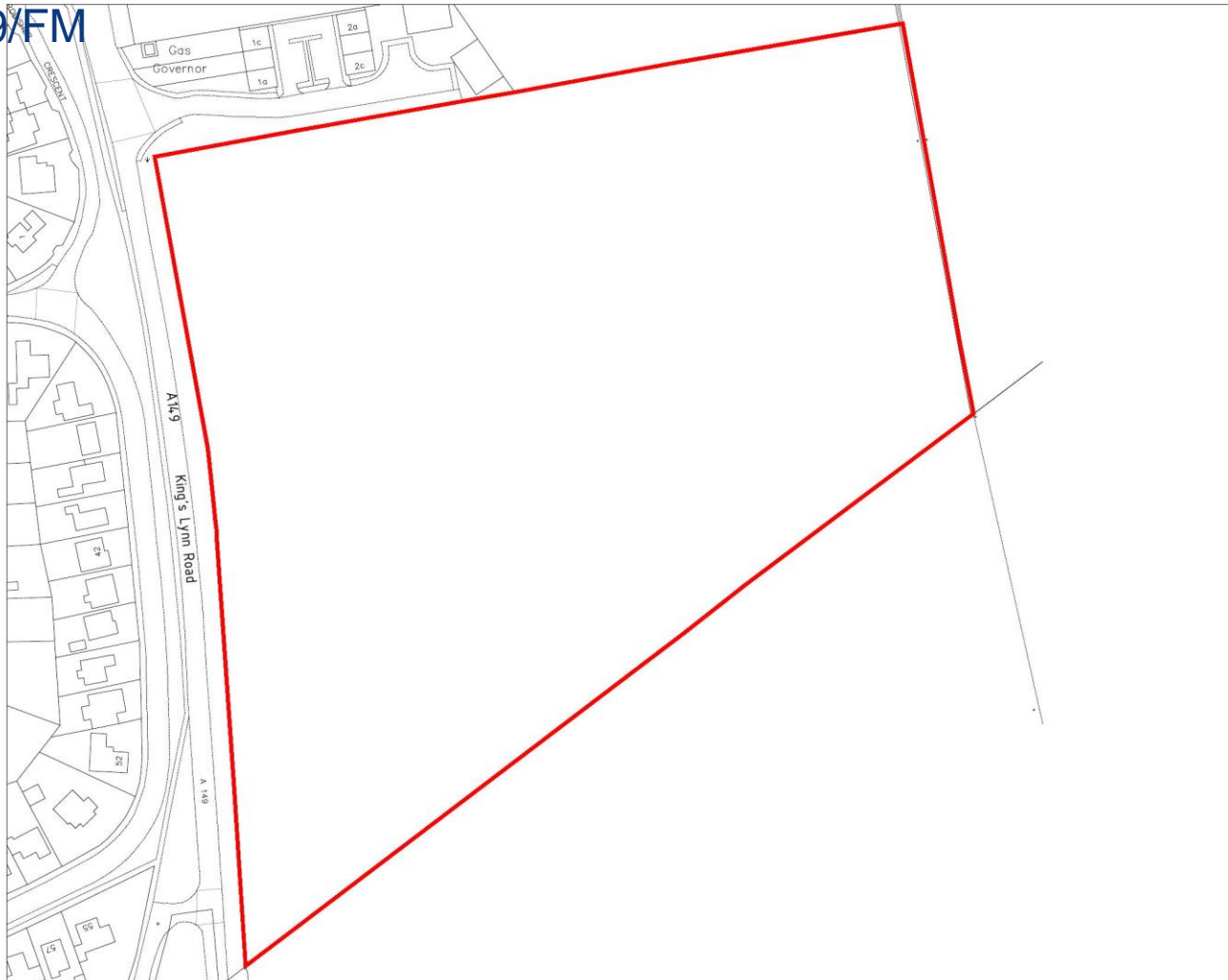
Agenda Item 8a

2



22/00929/FM





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This drawing is produced as a plan and may not be used for any other purpose than the specific requirements of the drawing. It is the responsibility of the client to ensure that this drawing is used in connection with the project as recorded on the title block and the Change Code and Register. It also issued in digital format the data within this file may not be used for any purpose other than the information presented on the paper copy of the document.

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SCALE 1:1250 NORTH

0 12.5 25 37.5 50

Notes

- Red line boundary taken from title plan references W237910 and W237913 issued by client

REV	DATE	DESCRIPTION
P1	30/03/22	issued for planning

DRAWING USE
PLANNING

CLIENT
LOVELL HOMES LTD

PROJECT
RESIDENTIAL DEVELOPMENT

ADDRESS
KING'S LYNN ROAD, HUNSTANTON

STATUS
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
Site Location Plan	A3

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0500	P1

CREATED	CHECKED	APPROVED
KC	WMC	WMC

11 Vauxhall Road,
Norwich
NR7 7EP
01603 789999
enquiries@chaplinfo.com

Mark
Carridge and Wincouss

www.chaplinfo.com

JOB NO.
6357





8000

- 1 - 1m x 0.7m parking space
- 2 - 2m x 1.0m x 0.7m parking space
- 3 - 3m x 1.0m x 0.7m parking space
- 4 - 4m x 1.0m x 0.7m parking space
- 5 - 5m x 1.0m x 0.7m parking space

KEY

- 1 Bed Building
- 2 Bed Building
- 3 Bed Building
- 4 Bed Building
- 5 Bed Building
- 6 Bed Building
- 7 Bed Building

LEGEND

- 1 Bed Building
- 2 Bed Building
- 3 Bed Building
- 4 Bed Building
- 5 Bed Building
- 6 Bed Building
- 7 Bed Building

Parking Standards

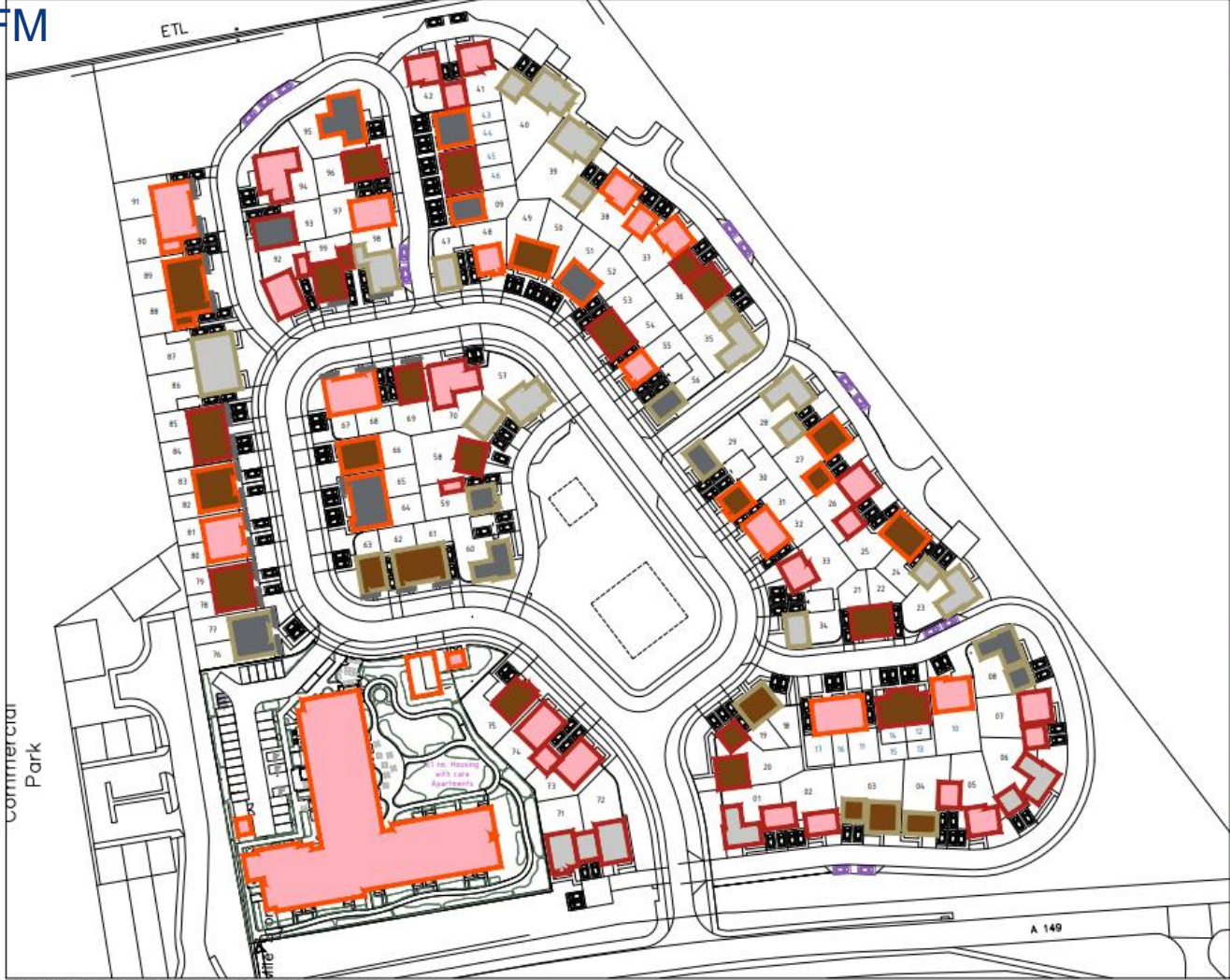
- 1 Bed Building: 1 car parking space
- 2 Bed Building: 1 car parking space including garage
- 3 Bed Building: 2 car parking spaces including garage
- 4 Bed Building: 3 car parking spaces including garage
- 5 Bed Building: 4 car parking spaces including garage
- 6 Bed Building: 5 car parking spaces including garage
- 7 Bed Building: 7 car parking spaces including garage

Notes

- See the schedule table for site plan references. BS0210 and BS0212 apply to all.

REVISION	DESCRIPTION
REV: 0001	Scheme development - planning & consultation
REV: 0002	Scheme development - planning & consultation
REV: 0003	Scheme development - planning & consultation
REV: 0004	Scheme development - planning & consultation
REV: 0005	Scheme development - planning & consultation
REV: 0006	Scheme development - planning & consultation
REV: 0007	Scheme development - planning & consultation
REV: 0008	Scheme development - planning & consultation
REV: 0009	Scheme development - planning & consultation
REV: 0010	Scheme development - planning & consultation
REV: 0011	Scheme development - planning & consultation
REV: 0012	Scheme development - planning & consultation

PLANNING	NO.
PLANNING 01	101
PLANNING 02	102
PLANNING 03	103
PLANNING 04	104
PLANNING 05	105
PLANNING 06	106
PLANNING 07	107
PLANNING 08	108
PLANNING 09	109
PLANNING 10	110



Commercial Park

ETL

Scale
 Scale: 1:500
 0 10 20 30 40 50 60 70 80 90 100

KEY

Roofs

- Light red: Built roof with 2.0 slope material
- Dark red: Built roof with 3.0 slope material
- Brown: Built roof with 4.0 slope material
- Yellow: Terrace the roof elevation
- Black: Built external handrails for the roof elevation

Walls

- Brown: Brown external garden
- Dark red: Dark red external garden
- Grey: Dark external garden
- Light grey: Dark external back of plot

General Materials

Concrete: 2.0 slope material, 3.0 slope material, 4.0 slope material
 External walls: 2.0 slope material, 3.0 slope material, 4.0 slope material
 External walls: 2.0 slope material, 3.0 slope material, 4.0 slope material
 External walls: 2.0 slope material, 3.0 slope material, 4.0 slope material

Refer to H04.07.02, H04.07.03, H04.07.04, H04.07.05, H04.07.06, H04.07.07, H04.07.08, H04.07.09, H04.07.10, H04.07.11, H04.07.12, H04.07.13, H04.07.14, H04.07.15, H04.07.16, H04.07.17, H04.07.18, H04.07.19, H04.07.20, H04.07.21, H04.07.22, H04.07.23, H04.07.24, H04.07.25, H04.07.26, H04.07.27, H04.07.28, H04.07.29, H04.07.30, H04.07.31, H04.07.32, H04.07.33, H04.07.34, H04.07.35, H04.07.36, H04.07.37, H04.07.38, H04.07.39, H04.07.40, H04.07.41, H04.07.42, H04.07.43, H04.07.44, H04.07.45, H04.07.46, H04.07.47, H04.07.48, H04.07.49, H04.07.50, H04.07.51, H04.07.52, H04.07.53, H04.07.54, H04.07.55, H04.07.56, H04.07.57, H04.07.58, H04.07.59, H04.07.60, H04.07.61, H04.07.62, H04.07.63, H04.07.64, H04.07.65, H04.07.66, H04.07.67, H04.07.68, H04.07.69, H04.07.70, H04.07.71, H04.07.72, H04.07.73, H04.07.74, H04.07.75, H04.07.76, H04.07.77, H04.07.78, H04.07.79, H04.07.80, H04.07.81, H04.07.82, H04.07.83, H04.07.84, H04.07.85, H04.07.86, H04.07.87, H04.07.88, H04.07.89, H04.07.90, H04.07.91

REVISIONS

NO.	DATE	DESCRIPTION
01	01/01/2022	Final issue
02	01/01/2022	Issued for planning
03	01/01/2022	Final issue for planning
04	01/01/2022	Final issue for planning
05	01/01/2022	Final issue for planning
06	01/01/2022	Final issue for planning
07	01/01/2022	Final issue for planning
08	01/01/2022	Final issue for planning
09	01/01/2022	Final issue for planning
10	01/01/2022	Final issue for planning

PLANNING

Client: LOVELL HOMES LTD

Project: RESIDENTIAL DEVELOPMENT

Address: KING'S LYNN ROAD, HUNSTANTON

Status: A3 DEVELOPED DESIGN APPROVED

Proposed Materials Plan

Material Code: R04-CF-ZZ-08-08-CR-A-0208

Material Name: WMC

Material Reference: MN

Material Date: 01/08/2022

Material Number: 6207

Chaplin Farrant
 Planning & Environmental Consultants



- S11
Site high class boarded timber fence with concrete posts
- S12
Site high class boarded timber fence with concrete posts with 0.3m height to top
- S13
Site high class timber fence with tapered with fibre creosote and large livestock stock course
- S14
No high post and wire fencing
- S15
No high line (no railings, block)
- S16
S16W timber fence not located
- S17
Site high railings
- - - S18
Site high, 0.3m high brick wall

This drawing is provided as an advisory document only and does not constitute a contract. It is for the use of the client and is not to be used for any other purpose. The client is responsible for ensuring that the drawing is used in accordance with the terms of the contract. The client is responsible for ensuring that the drawing is used in accordance with the terms of the contract. The client is responsible for ensuring that the drawing is used in accordance with the terms of the contract.

Client: Lovell Homes Ltd
 Date: 15/08/2022
 Scale: 1:500
 North



NOTES:

REVISION NO	DATE	DESCRIPTION
R1	20/08/22	Final Issue
R2	30/08/22	Revised drawing
R3	13/09/22	Updated to suit revised site plan
R4	17/09/22	Final A3, 1:500, 100% approved
R5	24/12/22	Parking spaces amended for plans 06, 07, 08, 09, 10
R6	30/05/23	Amendments to suit revised layout and address (plant comments)
R7	14/08/23	Amendments to suit revised layout and address (plant comments)

DRAWING USE:
 PLANNING
 CLIENT:
 LOVELL HOMES LTD
 PROJECT:
 RESIDENTIAL DEVELOPMENT
 ADDRESS:
 KING'S LYNN ROAD, HUNSTANTON
 STATUS:
 A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
PROPOSED BOUNDARIES PLAN	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0507	P7

CREATED BY	CHECKED BY	APPROVED BY
WS	WMC	WMC

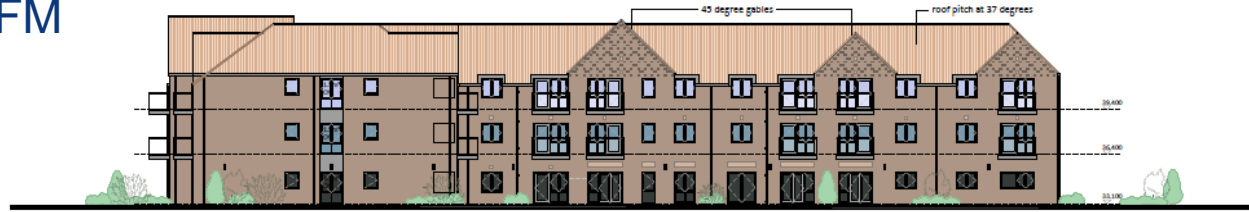
By: [Signature]
 Date: 15/08/2022
 Scale: 1:500
 North







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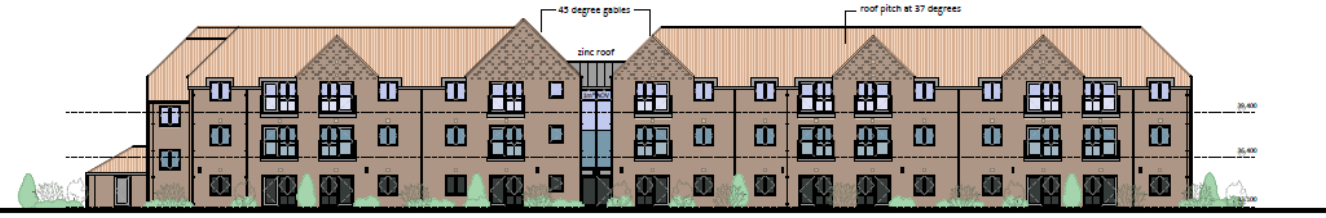
A 149

Existing fences to be retained, Supplementary Planning to replace boundary



- MATERIALS**
-  profiled roof tile
 -  red/ brown multi brick
 -  patterned brick to gables
 -  vents (final positions to be confirmed)
 -  lights (final positions to be confirmed)

-  RAL 7012 grey fascias, rainwater goods, windows and balcony fascias
-  toughened glass and aluminium balcony assembly



08

LANGTRY-LANGTON ARCHITECTS

1. 01603 781200
2. 01603 781200
3. info@llangtry-langton.co.uk

1. 01603 781200
2. 01603 781200
3. info@llangtry-langton.co.uk

All work to be carried out in accordance with the requirements of the Building Regulations and the Water Authority Regulations currently in force.

Drawings have been checked and approved to the best of our ability.

We do not accept liability for any errors or omissions.

We do not accept liability for any errors or omissions.

We do not accept liability for any errors or omissions.

NO.	DATE	REVISION	BY
01	15/01/2022	Issue for planning	ML
02	15/01/2022	Revised drawings to include planning conditions	ML
03	15/01/2022	Revised drawings to include planning conditions	ML



PROJECT: HOUSING WITH CARE APARTMENTS KINGS LYNN ROAD, HUNSTANTON for LOVELL LATER LIVING

DATE: 15/01/2022

SCALE: 1:500

PROJECT	DRAWING	REVISION
22001	EC-V-05	C
DATE	PLANNING	DATE
SCALE	1:500	DATE

10



SECOND FLOOR PLAN

AREA SCHEDULE			
RESIDENTS ACCOMMODATION	SQA	NUMBER	TOTAL
SEMI-APARTMENT	A	363	363
	B	363	363
	C	40	40
	D	40	40
	E	2	2
	F	2	2
	G	2	2
	H	2	2
	I	2	2
	J	2	2
	K	2	2
	L	2	2
	M	2	2
	N	2	2
	O	2	2
	P	2	2
	Q	2	2
	R	2	2
	S	2	2
	T	2	2
	U	2	2
	V	2	2
	W	2	2
	X	2	2
	Y	2	2
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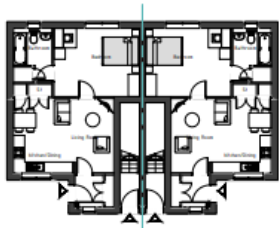


Front Elevation

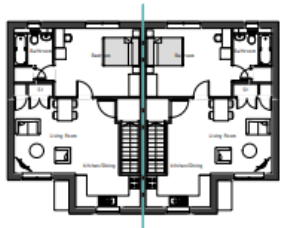
Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan

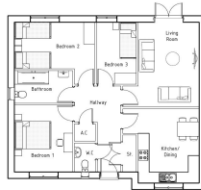
11



22/00929/FM

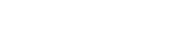


Front Elevation Side Elevation Rear Elevation Side Elevation



These drawings are provided as an advisory service only and are not intended to be used for any other purpose. The client is responsible for checking the drawings against the relevant building regulations and other applicable legislation with the relevant authorities. The drawings are provided on the basis that the client has accepted the drawings as shown and has agreed to pay the fees for the drawings. The drawings are provided on the basis that the client has accepted the drawings as shown and has agreed to pay the fees for the drawings. The drawings are provided on the basis that the client has accepted the drawings as shown and has agreed to pay the fees for the drawings.

NOTES
This drawing contains the following:
A



REVISION NO.	REV. DATE	DESCRIPTION
P1	24/05/23	First Issue

DRAWING USE
PLANNING
CLIENT
LOVELL HOMES LTD
PROJECT
RESIDENTIAL DEVELOPMENT
ADDRESS
KING'S LYNN ROAD, HUNSTANTON

STATUS
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE	
AFFORDABLE BUNGALOW PLANS & ELEVATIONS	A1	
DRAWING NO.	REVISION	
KLHJ-CF-ZZ-XX-DR-A-0562	P4	
CREATED BY	CHECKED BY	APPROVED BY
JM	DIG	DIG

1:1 Scale
Scale
Scale
Scale

Drawn by: [Name]
Checked by: [Name]
Approved by: [Name]

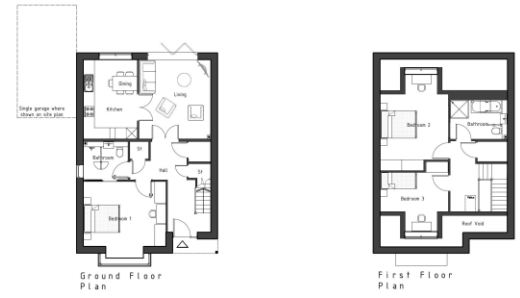
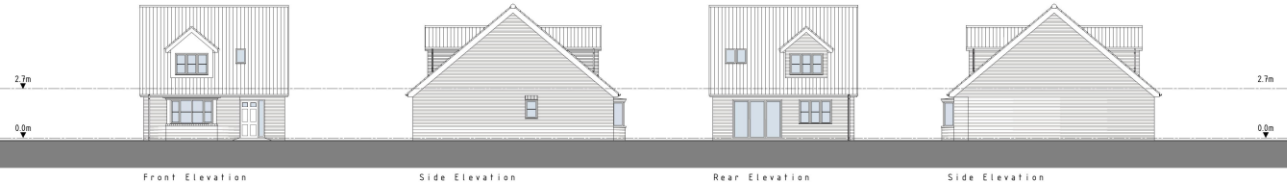


Residential Development · King's Lynn Road · Hunstanton

11/24/2023 10:50:00 AM C:\Users\jmc\OneDrive\Documents\2200929\FM\2200929-FM-0562-XX-DR-A-0562.dwg

22/00929/FM

13



This drawing is provided as an illustrative guide only and should not be used for any other purpose. The client is responsible for ensuring that the drawing is used in accordance with the project's requirements. The client is responsible for ensuring that the drawing is used in accordance with the project's requirements. The client is responsible for ensuring that the drawing is used in accordance with the project's requirements.

Client: Lovell Homes Ltd
 Date: 2023-02-01
 Scale: 1:100

NOTES
 This drawing contains the following:

REVISION NO	DESCRIPTION
REV 01	DATE
P1	2023/02/01
P2	2023/02/01
P3	2023/02/01
P4	2023/02/01

DRAWING USE
 PLANNING
 CLIENT
 LOVELL HOMES LTD
 PROJECT
 RESIDENTIAL DEVELOPMENT
 ADDRESS
 KING'S LYNN ROAD, HUNSTANTON

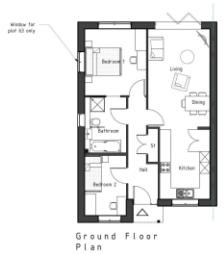
STATUS
 A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE	
TYPE ASTON BUNGALOW PLANS & ELEVATIONS	A1	
DRAWING NO.	REVISION	
KLHU-CF-ZZ-XX-DR-A-0541	P4	
CREATED BY	CHECKED BY	APPROVED BY
WS	KC	W/MC

By: [Signature]
 Date: 2023-02-01
 Scale: 1:100



Front Elevation Side Elevation Rear Elevation Side Elevation



This drawing is prepared in accordance with the Building Regulations and is intended for use for planning purposes only. It is not to be used for any other purpose. The client is responsible for ensuring that the drawing is used in accordance with the Building Regulations and for ensuring that the drawing is used in accordance with the Building Regulations and for ensuring that the drawing is used in accordance with the Building Regulations.

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SCALE 1:100

NOTES
This drawing contains the following:

REVISION NO	DATE	DESCRIPTION
PS	10/03/22	Final Issue
PS	10/03/22	Minor amendments added to glazing and floor slab elevations
PS	10/03/22	Issued for planning
PS	10/03/22	1st revision issued
PS	10/03/22	Plot specific window added

DRAWING USE
PLANNING

CLIENT
LOVELL HOMES LTD

PROJECT
RESIDENTIAL DEVELOPMENT

ADDRESS
KING'S LYNN ROAD, HUNSTANTON

STATUS
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE MORGAN BUNGALOW PLANS & ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0540	PS

CREATED BY	CHECKED BY	APPROVED BY
WS	KC	WMC

By: [Signature]
Date: [Date]
Scale: [Scale]
Author: [Name]
Check: [Name]
Drawn: [Name]

CF JOB NO.
6357

14



Front Elevation Side Elevation Rear Elevation Side Elevation



Ground Floor Plan First Floor Plan

This drawing is provided as an illustrative guide only and should not be used for any other purpose. The client is responsible for ensuring that the drawings are used in accordance with the project's requirements and that the drawings are used in accordance with the project's requirements. The client is responsible for ensuring that the drawings are used in accordance with the project's requirements.

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SCALE: 1:100

0 1 2 3 4 5 6

NOTES

This drawing contains the following:

1

REVISION ID	DATE	DESCRIPTION
P1	10/03/22	First Issue
P2	30/03/22	Revised floor plan
P3	30/03/22	Floor plan finalized
P4	30/03/22	Plan finally reviewed and approved

DRAWING USE

PLANNING

CLIENT

LOVELL HOMES LTD

PROJECT

RESIDENTIAL DEVELOPMENT

ADDRESS

KING'S LYNN ROAD, HUNSTANTON

STATUS

A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE

TYPE 789 PLANS & ELEVATIONS

SIZE

A1

DRAWING NO.

KLHU-CF-ZZ-XX-DR-A-0551

REVISION

P4

CREATED BY

WS

CHECKED BY

KC

APPROVED BY

W/MC

By: [Signature]

Date: 03/03/23

Job No.

6357



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Client: Lovell Homes Ltd
 Project: Residential Development
 Address: King's Lynn Road, Hunstanton

Scale: 1:100

Notes:
 This drawing contains the following:

REVISION NO.	DATE	DESCRIPTION
R1	20/02/22	Issue for planning
R2	20/02/22	Issue for planning
R3	20/02/22	Issue for planning
R4	20/02/22	Issue for planning

DRAWING USE:
 PLANNING

CLIENT:
 LOVELL HOMES LTD

PROJECT:
 RESIDENTIAL DEVELOPMENT

ADDRESS:
 KING'S LYNN ROAD, HUNSTANTON

STATUS:
 A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE 897 PLANS & ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0553	P4

CREATED BY	CHECKED BY	APPROVED BY
KC	WMC	WMC

1:1 Scale: 1:100
 Date: 20/02/22
 Project: Residential Development
 Address: King's Lynn Road, Hunstanton

22/00929/FM



Front Elevation Side Elevation Rear Elevation Side Elevation



Ground Floor Plan First Floor Plan

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SCALE 1:100

NOTES

This drawing contains the following:

REVISION NO.	DATE	DESCRIPTION
P1	20/02/23	First Issue
P2	20/02/23	Area added
P3	20/02/23	Issue for planning
P4	02/02/23	Plot no. reference amended

DRAWING USE

PLANNING

CLIENT

LOVELL HOMES LTD

PROJECT

RESIDENTIAL DEVELOPMENT

ADDRESS

KING'S LYNN ROAD, HUNSTANTON

STATUS

A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE 1015 VERSION 1 PLANS & ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0556	P4

CREATED BY	CHECKED BY	APPROVED BY
KC	WMC	WMC

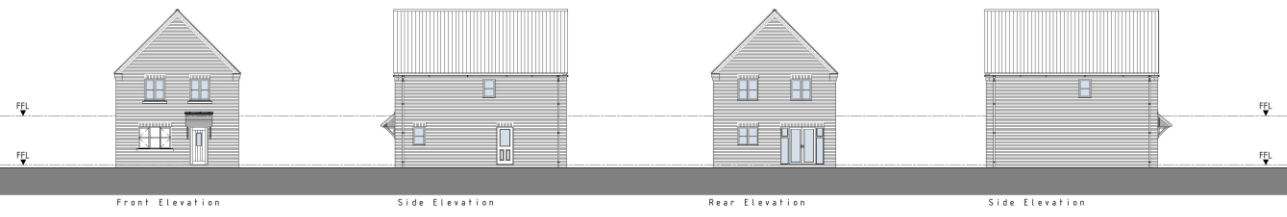
11, The Grove Road,
 Hunstanton,
 Norfolk
 PE26 2LW
 www.chaplinfarrant.com

CF JOB NO.
 6357



HOUSE TYPE 1135 . 4B/6P HOUSE . 105sqm . 1135sqft

22/00929/FM



Front Elevation Side Elevation Rear Elevation Side Elevation



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SCALE 1:100

NOTES
This drawing contains the following:
#

REVISION NO	DATE	DESCRIPTION
P1	24/03/23	First Issue

DRAWING USE
PLANNING

CLIENT
LOVELL HOMES LTD

PROJECT
RESIDENTIAL DEVELOPMENT

ADDRESS
KING'S LYNN ROAD, HUNSTANTON

STATUS
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE	
TYPE 1135 PLANS AND ELEVATIONS	A1	
DRAWING NO.	REVISION	
KLHU-CF-ZZ-XX-DR-A-0563	P1	
CREATED BY	CHECKED BY	APPROVED BY
JM	DIG	DIG

By: Technical Panel CF JOB NO.
 Date: 24/03/23 6357
 Author: JFM@chaplinfarrant.com
 Check: GFM@chaplinfarrant.com
 Drawn: GFM@chaplinfarrant.com



Residential Development · King's Lynn Road · Hunstanton

Small text at the bottom left corner of the page.



Front Elevation

Side Elevation

Rear Elevation

Side Elevation

NOTES
This drawing contains the following:

0 1 2 3 4 5 6m
SCALE 1:100

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REVISION LOG

REV.	DATE	DESCRIPTION
P1	30/03/25	First Issue
P2	30/03/25	Floor area added
P3	30/03/25	Car space elevation added. Plans and elevation
P4	30/03/25	Windows approved
P5	30/03/25	Final for planning
P6	30/03/25	Customer variation omitted

DRAWING USE

PLANNING
CLIENT
LOVELL HOMES LTD
PROJECT
RESIDENTIAL DEVELOPMENT
ADDRESS
KING'S LYNN ROAD, HUNSTANTON

STATUS
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE
TYPE 1659 PLANS & ELEVATIONS

SIZE
A1

ENGINEERING NO.
KLHU-CF-ZZ-XX-DR-A-0560

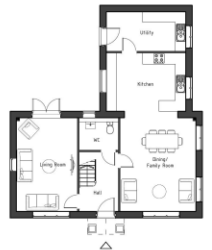
REVISION
P5

CREATED BY
KC

CHECKED BY
WMC

APPROVED BY
WMC

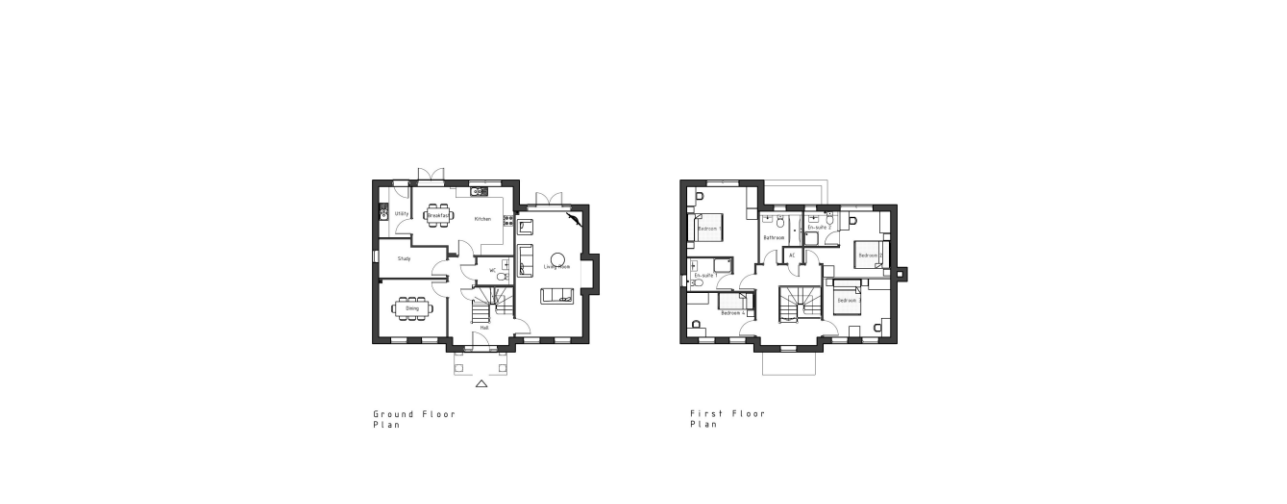
BY: [Name]
DATE: [Date]
JOB NO.: 6357



Ground Floor Plan



First Floor Plan



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Client: Lovell Homes Ltd. Date: 20/09/22. The drawing may not be reproduced in any form without the prior written consent of the architect.

SCALE: 1:100

0 1 2 3 4 5 6m

NOTES:
This drawing contains the following:
A

REVISION NO.	DATE	DESCRIPTION
P1	20/09/22	First issue
P2	20/09/22	Final revised
P3	20/09/22	Final approved
P4	20/09/22	Issued for planning

DRAWING USE:
PLANNING

CLIENT:
LOVELL HOMES LTD

PROJECT:
RESIDENTIAL DEVELOPMENT

ADDRESS:
KING'S LYNN ROAD, HUNSTANTON

STATUS:
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
TYPE1876HOUSEPLANS&ELEVATIONS	A1

DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0561	P4

CREATED BY	CHECKED BY	APPROVED BY
KC	WMC	WMC

BY	DATE	JOB NO.
WMC	20/09/22	6357

GARAGES SHEET 01

22/00929/FM

21

Access door position, unless according to plan

Single Garage
(INTERNAL 3 x 6M)

Front Elevation Side Elevation Rear Elevation Side Elevation

Access door position, unless according to plan

Single Garage
(INTERNAL 3 x 6M)

Front Elevation Side Elevation Rear Elevation Side Elevation

Access door position, unless according to plan

Double Garage
(INTERNAL 6 x 6M)

Front Elevation Side Elevation Rear Elevation Side Elevation

Access door position, unless according to plan

Single Garage
(INTERNAL 3 x 6M)
Double Garage
(INTERNAL 6 x 6M)

Front Elevation Side Elevation Rear Elevation Side Elevation

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SCALE 1:100

REVISION NO.	REV. DATE	DESCRIPTION
P1	30/05/22	Issued for planning

DRAWING USE
PLANNING

CLIENT
LOVELL HOMES LTD

PROJECT
RESIDENTIAL DEVELOPMENT

ADDRESS
KING'S LYNN ROAD, HUNSTANTON

STATUS
A3-DEVELOPED DESIGN APPROVED

DRAWING TITLE	SIZE
PROPOSED GARAGES SHEET 1	A1

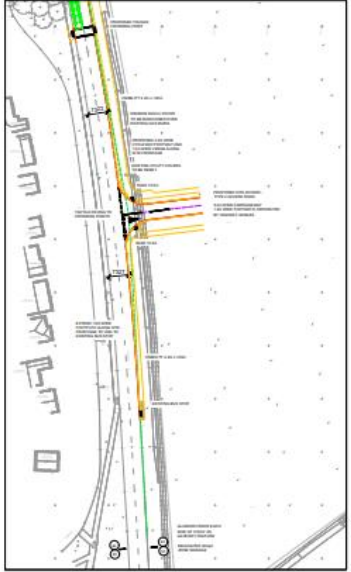
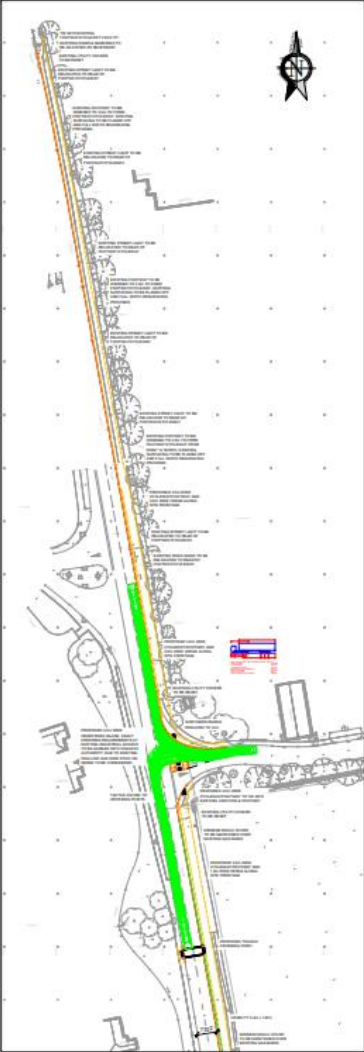
DRAWING NO.	REVISION
KLHU-CF-ZZ-XX-DR-A-0565	P1

CREATED BY	CHECKED BY	APPROVED BY
WS	KC	W/MC

11, The Grove Road,
Hunstanton
Norfolk
NG21 3JF

01492 822222
01492 822222
01492 822222

CF JOB NO.
6357



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 AND MUST NOT BE USED AS A CONSTRUCTION DRAWING
 IT INDICATES THE MAIN WORK ONLY AND IS SUBJECT TO
 SUBSEQUENT SUBMITTAL DESIGN DEVELOPMENT

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR TENDERS	12/11/21	...
2
3
4
5
6
7
8
9
10



LOVELL PARTNERSHIPS LTD
 LAKESIDE 500, BRIDGEMOND BUSINESS PARK
 BRIDGEMOND, NORFOLK, NR1 1JL
 HUNSTANTON

**PRELIMINARY ACCESS
 ARRANGEMENT & S278 WORKS**

NO.	DATE	BY
1	12/11/21	...
2

10 INFORMATION
 DRAWING NO: 22/00929/FM
 211222 C-001 P59

23



View looking north

22/00929/FM



View looking north



25

View from western edge of site looking north (commercial park can be seen)

22/00929/FM



26

View from western edge of site looking northeast

22/00929/FM

27



View from western edge of site looking southeast

22/00929/FM

28

Commercial Park



22/00929/FM



Commercial Park looking north towards Smithdon

30



View from Commercial Park from northern edge of site looking southwest

22/00929/FM

31



View from Commercial Park from northern edge of site looking south



View from northern edge of site looking south / southwest

22/00929/FM

33



View from northern edge of site looking south / southeast

22/00929/FM



View from northern edge of site looking west

35


Police
enforcement
camera


40

View from entrance of commercial park looking south



22/00929/FM



View from entrance of commercial park looking north



37

View from opposite side of the road showing Smithdon High School Playing Fields and Site in context

22/00929/FM



VIEW FROM THE NORTH



VIEW FROM THE SOUTH

22/00929/FM



39

Montage from Commercial Park

22/00929/FM



EXISTING VIEW



PROPOSED VIEW

40



Montage from Smithdon High School

PROPOSED VIEW (+ 5 years approx tree growth)



CAMERA POSITION & FIELD OF VIEW

41

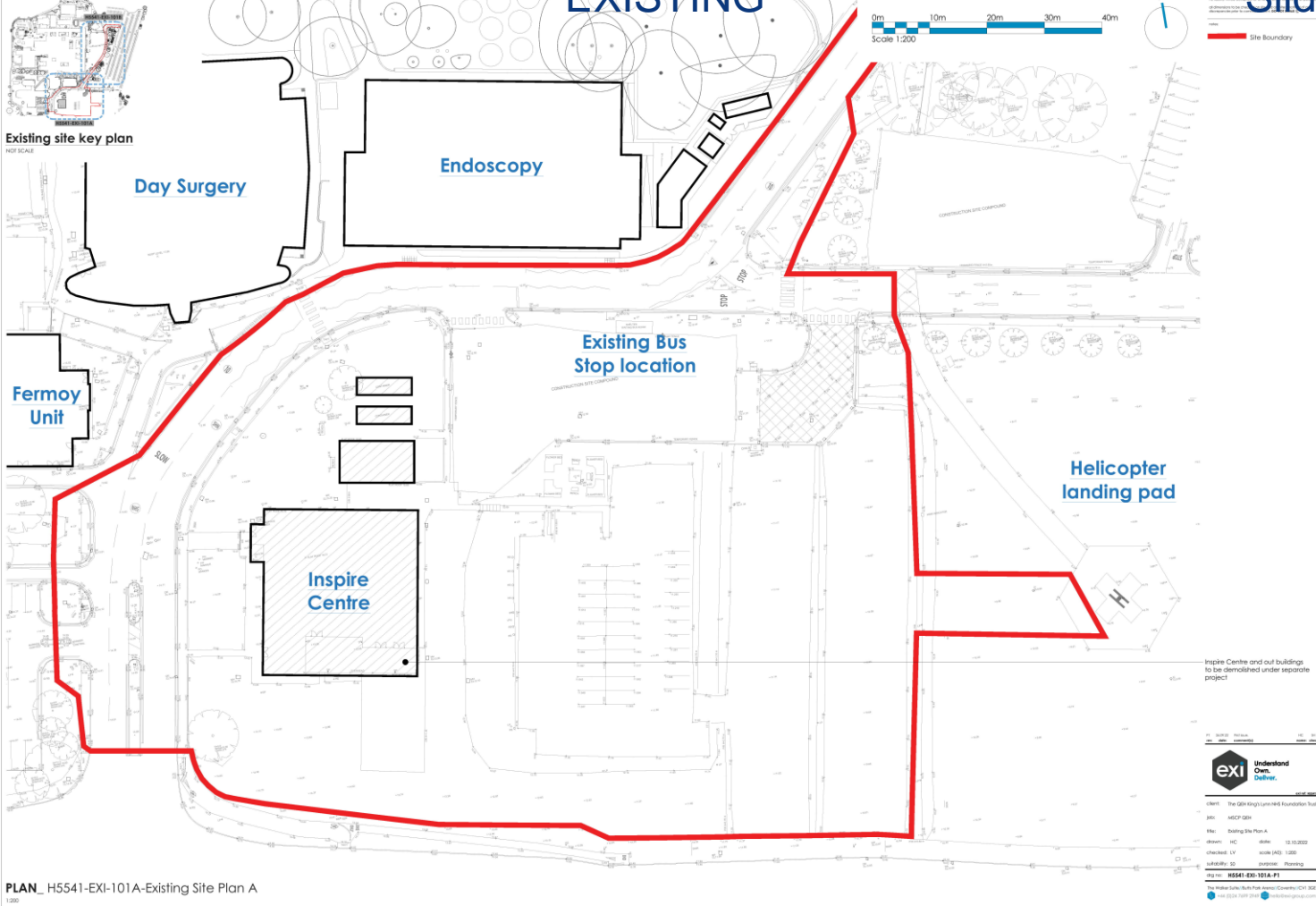


View from Smithdon High School

22/01947/FM

42





43



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Notes:

- Land ownership boundary
- Site development boundary

no.	date	comment(s)	rev.	name	check
P3	12.10.22	Issued and the following comments	HC	LV	
P2	08.02.22	Quoted the following comments	HC	LV	
P1	04.09.22	Full issue	HC	LV	



client: The QEH King's Lynn NHS Foundation Trust

job: MSCP QEH

title: Location Plan

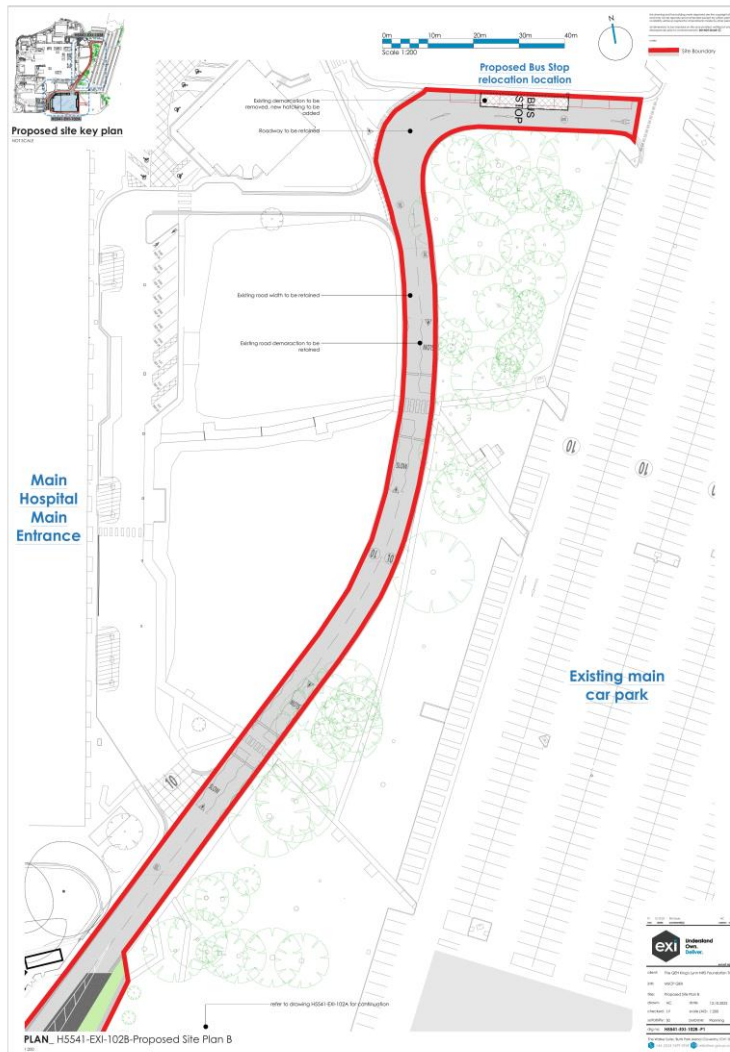
drawn: HC date: 12.10.2022

checked: LV scale (A1): 1:1250

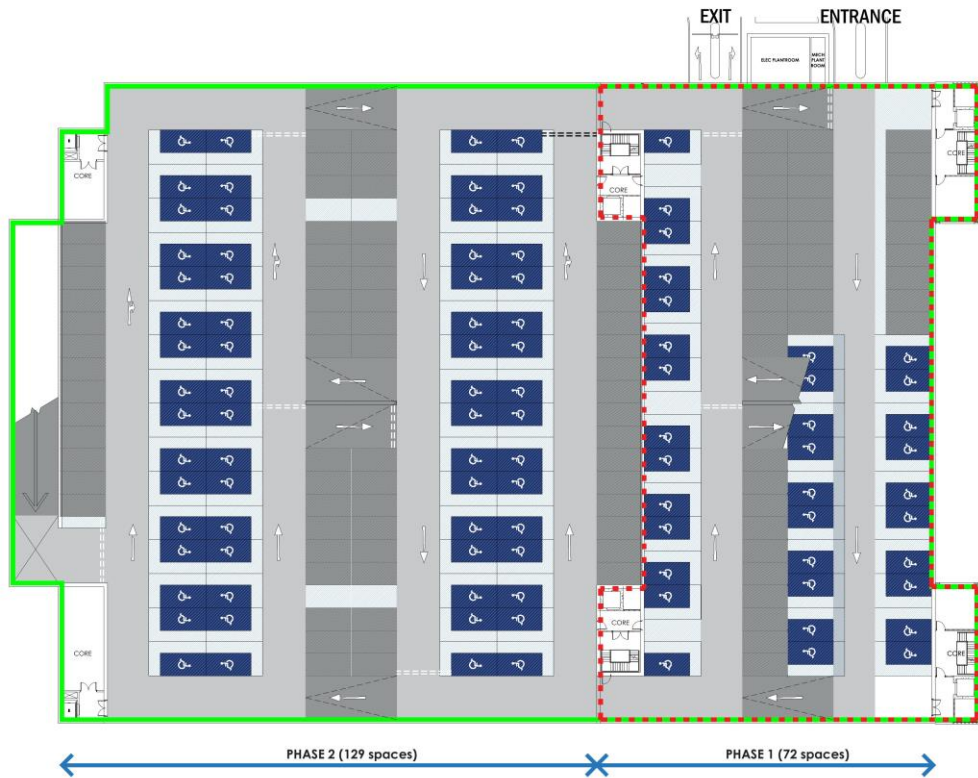
sub/ability: SD purpose: Planning

doc no: **H5541-EXI-100-P3**

The Wicker Suite, Burt Park Avenue, Covehithe, CYN 3JG
 +44 (0)1493 7699 2948 | info@exi-group.com



Ground Floor = 201 Spaces



PLAN_ Ground Floor Layout
1:200

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note:

Level	Phase 1		Phase 2		Total		
	Amberley	Disability	Amberley	Disability			
0	38	34	0	65	44	0	201
1	86	0	0	150	0	0	236
2	86	0	0	150	0	0	236
3	86	0	0	150	0	0	236
4	86	0	0	150	0	0	236
5	84	0	0	154	0	0	238
Total	500	0	0	883	0	0	1383

SCHEDULE - Parking Schedule

- Parking space types**
- Amberley parking space
 - Disability parking space
 - Walkway areas
- Phases**
- Phase 1 = 2483.7m²
 - Phase 1&2 = 4958.0m²

rev.	date	comment(s)	name	check
P1	14/03/23	EV charging bay removed and replaced with amberley parking bay	AI	LV
P1	12/12/22	typ & drawing name updated	HC	LV
P1	30/09/22	first issue	HC	LV

exi

client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP-GBH
 title: Proposed Context GF Plan
 drawn: AI date: 14/03/2023
 checked: LV scale (A1): 1:200
 suitability: 50 purpose: Planning

proj no: H5541-EXI-201-P3
 The Walker Suite, Bulls Park Avenue, Colverthorpe, CV1 3QE
 +44 (0)24 7697 2144 info@exi-group.co.uk



49

Levels 1 to 4 = 236 SPACES

50



PLAN_ Levels 1 to 4 Layout
1:200

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notes:

Level	Phase 1		Phase 2		Total	
	Ambulant	Disabled	Ambulant	Disabled		
0	38	34	0	65	0	201
1	86	0	0	150	0	236
2	86	0	0	150	0	236
3	86	0	0	150	0	236
4	86	0	0	150	0	236
5	84	0	0	154	0	238
Total	500	0	0	863	0	1363

SCHEDULE - Parking Schedule

- Parking space types**
- Ambulant parking space
 - Walkway areas
- Phases**
- Phase 1 = 2483.7m²
 - Phase 1&2 = 4988.6m²

rev.	date	comment(s)	author	checked
P1	14/03/23	Technical updates from changes to phases 1, 2, 3 and existing numbers	AI	LV
P2	14/03/23	GIS & drawing room updates	HC	LV
P3	14/03/23	Final issue	HC	LV



client: The QEH King's Lynn NHS Foundation Trust
 job: MSQP GBH
 title: Proposed Context Levels 1 to 4 Plan
 drawn: AI date: 14.03.2023
 checked: LV scale (A1): 1:200
 suitability: 50 purpose: Planning
 dtp no: H5541-EXI-201-P3
 The Walker Suite, Bulls Park Avenue, Coventry, CV1 3QE
 t: +44 (0)24 7697 2144 e: info@exi-group.co.uk



Level 5 = 238 Spaces

51



PLAN_ Level 5 Layout
1:200

For drawing part the building and its structure, including all the dimensions and details, including any other dimensions, shall be checked on site and architect notified of any discrepancies prior to commencement. **DO NOT SCALE!**

note:

Level	Parking Schedule				Total		
	Phase 1		Phase 2				
	Ambulant	Disabled	Ambulant	Disabled			
0	38	34	0	65	64	0	201
1	86	0	0	150	0	0	236
2	86	0	0	150	0	0	236
3	86	0	0	150	0	0	236
4	86	0	0	150	0	0	236
5	84	0	0	154	0	0	238
Total =	500	0	0	883	0	0	1383

SCHEDULE - Parking Schedule

- Parking space types**
- Ambulant parking space
 - Walkway areas
- Phases**
- Phase 1 = 2483.7m²
 - Phase 1&2 = 4958.6m²

rev.	date	comment(s)	name	check
P3	14/03/23	Issued updated final drawings to phase 1, issue drawing numbers.	AL	LV
P2	14/03/23	Issue & drawing room updates.	HC	LV
P1	31/03/23	Final issue.	HC	LV



client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP GBH
 title: Proposed Context Level 5 Plan
 drawn: AL date: 14/03/2023
 checked: LV scale (A1): 1:200
 suitability: 50 purpose: Planning

dep no: H5541-EXI-202-P3
 The Walker Suite, Bulls Park Avenue, Coventry, CV1 3QE
 +44 (0)24 7697 2144 hello@exi-group.co.uk



Roof Plan

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all dimensions to be checked on site and certified correct if any discrepancies prior to commencement. **DO NOT SCALE**

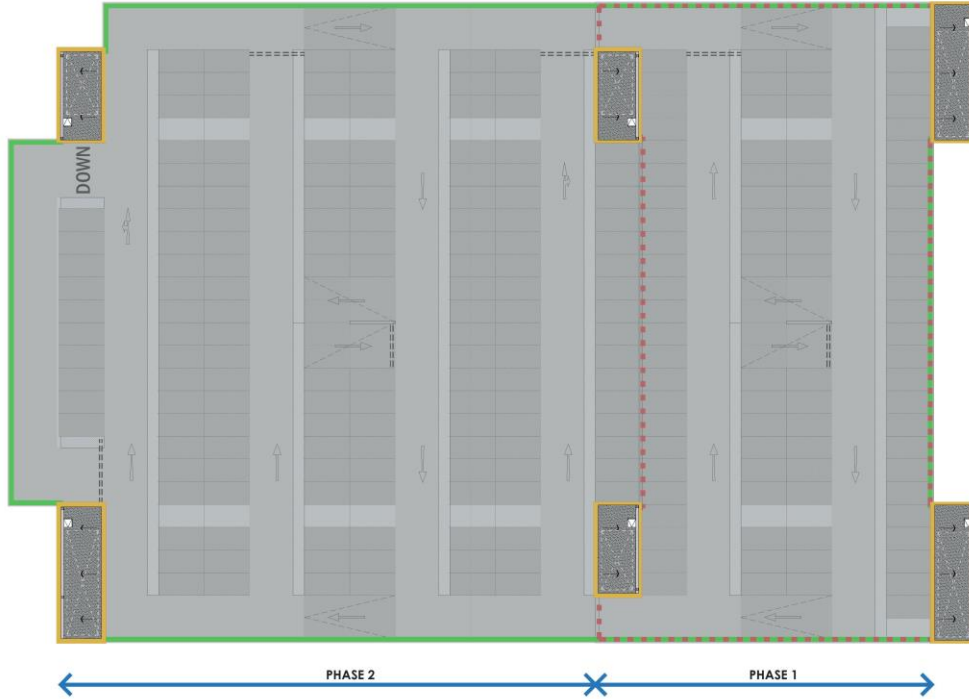
notes:

Key

- Flat roof over core
- Parapet casing flashing ppc to match elevations
- Roof fall
- Roof access locations
- Indicative PV locations

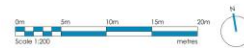
Phases

- Phase 1 = 2483.7m²
- Phase 1&2 = 4768.4m²



PLAN_ Roof Layout
1:200

52



rev	date	comment(s)	author	checked
P2	13.10.22	Key & drawing name updated	HC	LV
P1	04.09.22	Revised	HC	LV



client: The GBH King's Lynn NHS Foundation Trust
 job: MSCP GBH
 title: Proposed Context Roof Plan
 drawn: HC date: 12.10.2022
 checked: LV scale (A1): 1:200
 suitability: SD purpose: Planning

orig no: **H5541-EXI-203-P2**
 The Hubbell Suite, Bull Post Avenue, Conventry, CV3 2JF
 +44 (0)24 7699 2946 info@exi-group.com

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notes:

53



ELEVATION - north
1:100

- 1 Powdercoated profile fin with stainless steel weather vane rope railing
- colour 1 (base,RAL9005)
- colour 2 (base, RAL7035)
- colour 3 (base, RAL2011)
- colour 4 (top, RAL9005)
- 2 Soft face brickwork
- buff (glazecol, cotswold yellow)
- 3 Retaining wall and handrail
- 1.100m high precast-concrete wall
- 4 Fair faced brickwork
- natural finish brickwork
- 5 Powdercoated aluminium infelcting
- stainless bronze (anodise pale umber 541)
- 6 Powdercoated Aluminium frame
- anodised bronze (anodise umber 541)
- 7 Fluted separated mesh panel
- anodised bronze (anodise pale umber 541)
- 8 Powdercoated steel door
- anodised bronze (anodise dark umber 541)
- 9 Soft landscaping
- trees, shrubs, water, rocks, and external landscaping to be tested in conjunction with drawing (file 01_1202)

Client	The King's Lynn NHS Foundation Trust
Project	MSCP QEH
Drawn	LV
Checked	DQ
Scale	1:100
Date	13.10.2022

Understand.
Own.
Deliver.

we'll get it done.

client: The QEH King's Lynn NHS Foundation Trust
job: MSCP QEH
title: Proposed Elevations - Sheet 1
drawn: LV date: 13.10.2022
checked: LV scale (A3): 1:100
suitability: D2 purpose:
drg no: H5541-EXI-301 P2
The Walker Suite/Suits Park Area/Coverly/CV1 3GE
+44 (0)24 7899 2911 info@exi.co.uk

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notes:



54

ELEVATION - south
1 : 100

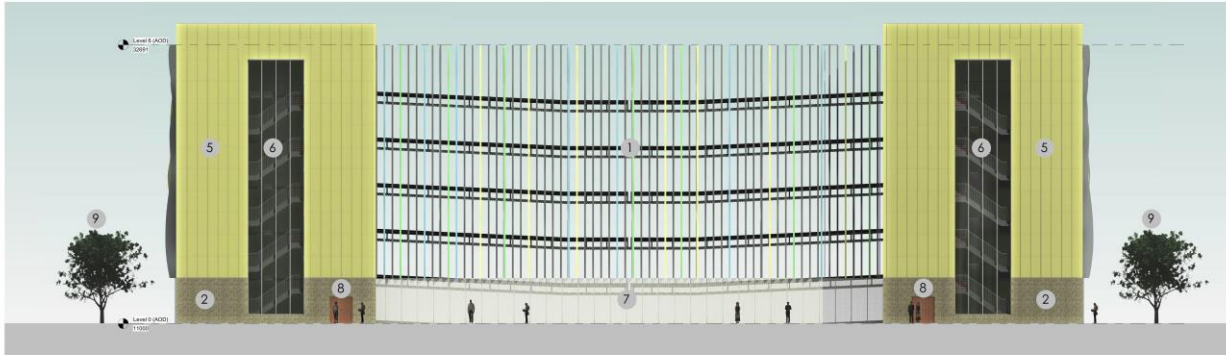
- 1 Powdercoated perforated fin with stainless steel weather vane cap
- colour 1 (Black, RA2008)
- colour 2 (white, RA2008)
- colour 3 (Black, RA2008)
- colour 4 (grey, RA4013)
- 2 Soft face blockwork
- soft pastel ...coloured yellow
- 3 Repeating wall and horizontal
- 150mm high perforation guardrail
- 4 Fair faced blockwork
- natural finish blockwork
- 5 Powdercoated aluminium interlocking infill screen panel
- anodised bronze (sandak timber 54)
- 6 Powdercoated Aluminium frame
- anodised bronze (sandak timber 54)
- 7 Reinforced expanded mesh panel
- anodised bronze (sandak timber 54)
- 8 Powdercoated steel door
- anodised bronze (sandak timber 54)
- 9 Soft landscaping
- trees, perimeter walls and external landscaping to be read in conjunction with drawing DN, EX, 100
- all external signage subject to separate planning application

1	2	3	4	5	6	7	8	9
1	2	3	4	5	6	7	8	9

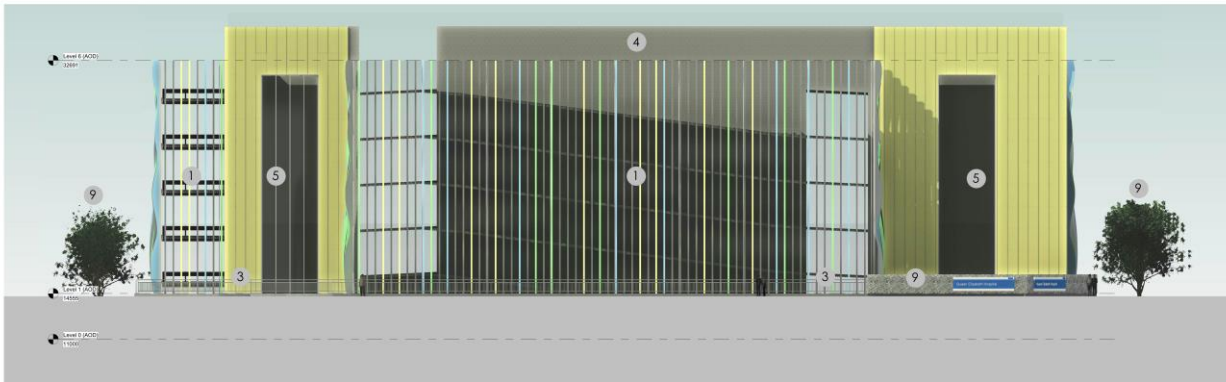


client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP QEH
 title: Proposed Elevations - Sheet 2
 drawn: dc date: 13.10.2022
 checked: LV scale (A3): 1 : 100
 suitability: D2 purpose:
 dwg no: H5541-EXI- 302 P2
 The Waker Suite/Bulls Park Arena/Coverly/CV1 3GE
 +44 (0)24 7899 2911 helolivegroup.com

55



ELEVATION - east
1: 100



ELEVATION - west
1: 100

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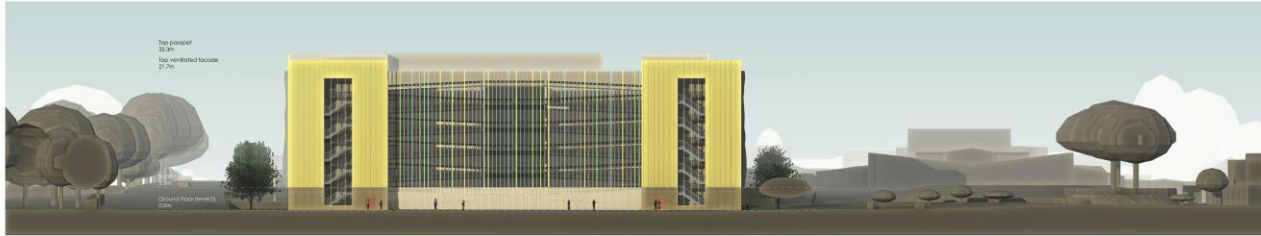
NOTES:

- 1 Powdercoated profile in with stainless steel external wall face material
colour 1 (Black), RAL 9005
colour 2 (White), RAL 9010
colour 3 (Blue), RAL 5010
colour 4 (Green), RAL 6017
- 2 Split face brickwork
split pattern, unglazed yellow
- 3 Retaining wall and thermal
1500mm high precast panel guard rail
- 4 Flat faced blockwork
topical brick blockwork
- 5 Powdercoated aluminium interlocking
rainscreen panel
anodised bronze (profile number 545)
- 6 Powdercoated aluminium frame
anodised bronze (profile number 545)
- 7 Patterned expanded mesh panel
anodised bronze (profile number 545)
- 8 Powdercoated steel door
anodised bronze (profile number 545)
- 9 Sun landscaping
- trees, plant matter works and external
landscaping to be fixed in conjunction with drawing
Rev. 03 1/2022
- indicative signage subject to separate planning
application

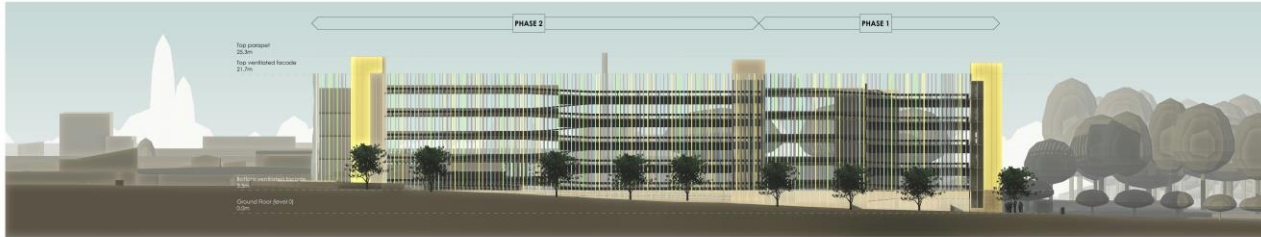
Rev.	Description	Date
01	Issue for approval	13/10/2022
02	Revised	13/10/2022



client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP QEH
 title: Proposed Elevations - Sheet 3
 drawn: dc date: 13.10.2022
 checked: LV scale (A3): 1: 100
 suitability: D2 purpose:
 dwg no: H5541-EXI- 303 P2
 The Walker Suite/8/15 Park Avenue/Coverly/CV1 3GE
 +44 (0)24 7899 2911 info@exigroup.com



ELEVATION - Street Scene A149
1:200



ELEVATION - Street Scene A1076
1:200

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NOTES:

56

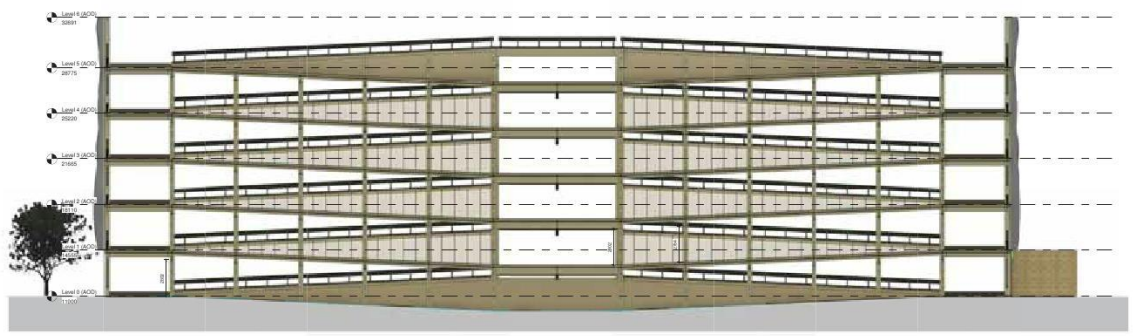
Client	The QEH King's Lynn NHS Foundation Trust
Project	MSCP QEH
Drawn	dc
Checked	lv
Scale	1:200
Purpose	PLANNING



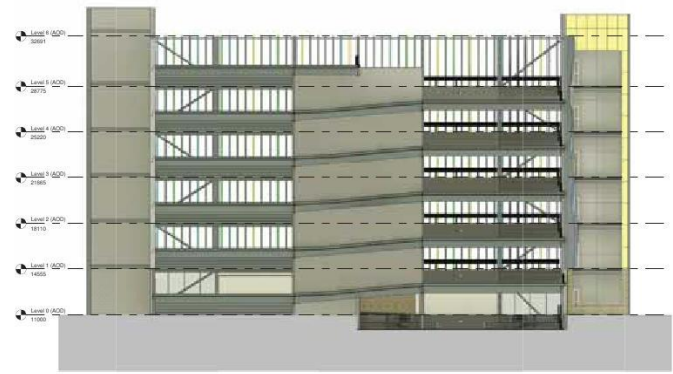
client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP QEH
 title: Proposed Context Street Elevations
 drawn: dc date: 13.10.2022
 checked: lv scale (AS): 1:200
 suitability: D2 purpose: PLANNING
 dsg no: H5641-EXI-304 P2
 The Walker Suite/6/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000



57



SECTION - A-A - Phase 1
1:100



SECTION - B-B - Phase 1
1:100

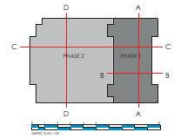
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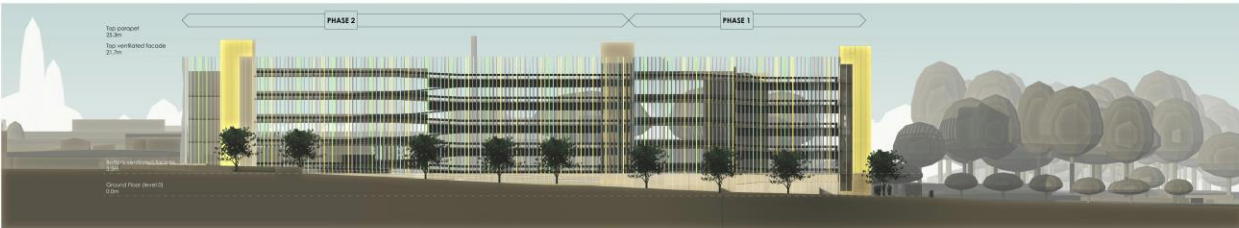
notes:

Author	DC
Checked	LV
Drawn	DC
Scale	1:100
Date	13.10.2022
Project	MSCP GEN
Client	The QEH King's Lynn NHS Foundation Trust
Job	Proposed Section - Sheet 1
Subjob	D2
Purpose	PLANNING
DWG NO	H5541-EXI-400
Sheet	F2

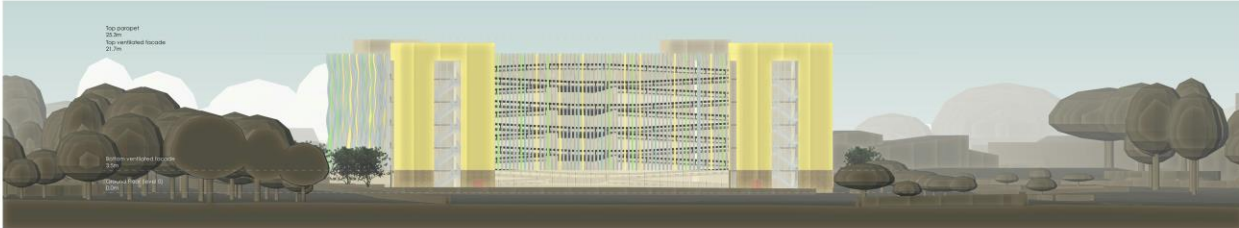


client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP GEN
 title: Proposed Section - Sheet 1
 drawn: dc date: 13.10.2022
 checked: lv scale (A3): 1:100
 subjob: D2 purpose: PLANNING
 dwg no: H5541-EXI-400 F2





SITE SECTION - A1076
1 : 200



SITE SECTION - A149
1 : 200

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DO NOT SCALE.
notes:

58



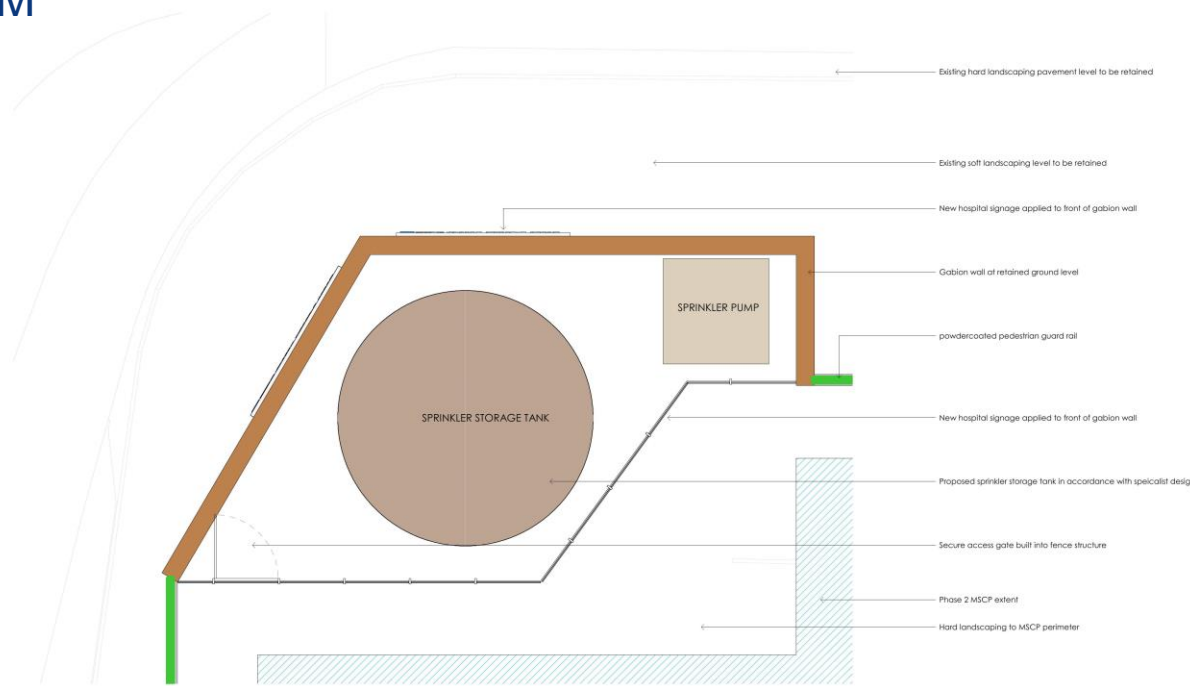
Client	The Queen Elizabeth Hospital NHS Foundation Trust
Date	13.10.2022
Scale	1:200



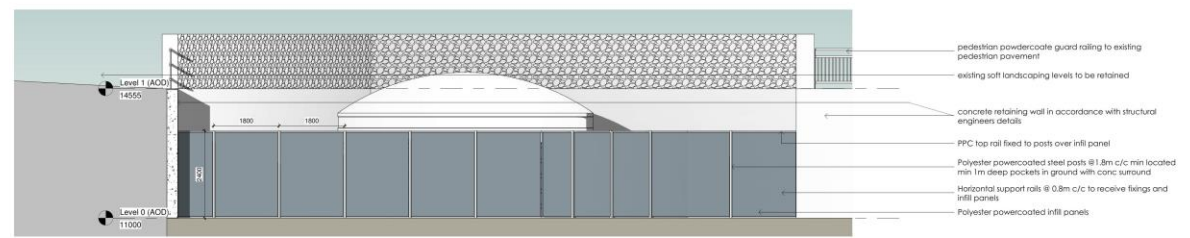
client: The QEH King's Lynn NHS Foundation Trust
 job: MSCP QEH
 title: Proposed Site Sections
 drawn: dc date: 13.10.2022
 checked: LV scale (AS): 1 : 200
 suitability: D2 purpose: PLANNING
 dwg no: H5641-EXI- 402 P2

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59



PLAN - Sprinkler Tank Compound
1 : 50



ELEVATION - Sprinkler Tank Compound
1 : 50

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Rev	Rev Issue	Date
01	01/03/2023	01/03/2023

client: The QEH King's Lynn NHS Foundation Trust
 MSCP QEH
 job: Proposed Sprinkler Tank Enclosure
 title: MSCP QEH
 draw: dc date: 14.03.2023
 checked: LV scale (A1): 1 : 50
 suitability: D2 purpose:
 drawn: H541-EXI-850 P1
 The Walker Suite / Butts Park Arena / Coventry / CV1 3GE
 +44 (0)24 7499 2949 | info@exi-group.com

09



- Notes**
1. Do not scale this drawing. All dimensions are to be taken from the drawing on site. If in doubt ask.
 2. This drawing is to be read in conjunction with all relevant architects, engineers and specialists drawings and specifications.
 3. All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
 4. Any discrepancies noted on site are to be reported to the engineer immediately.

Key Plan

- REVISED BUS ROUTE THROUGH HOSPITAL GROUNDS
- PEDESTRIAN ROUTE TO MAIN HOSPITAL

Legend

P01	07.10.22	Preliminary Issue					
Rev	Date	Description of Issue / Revision					

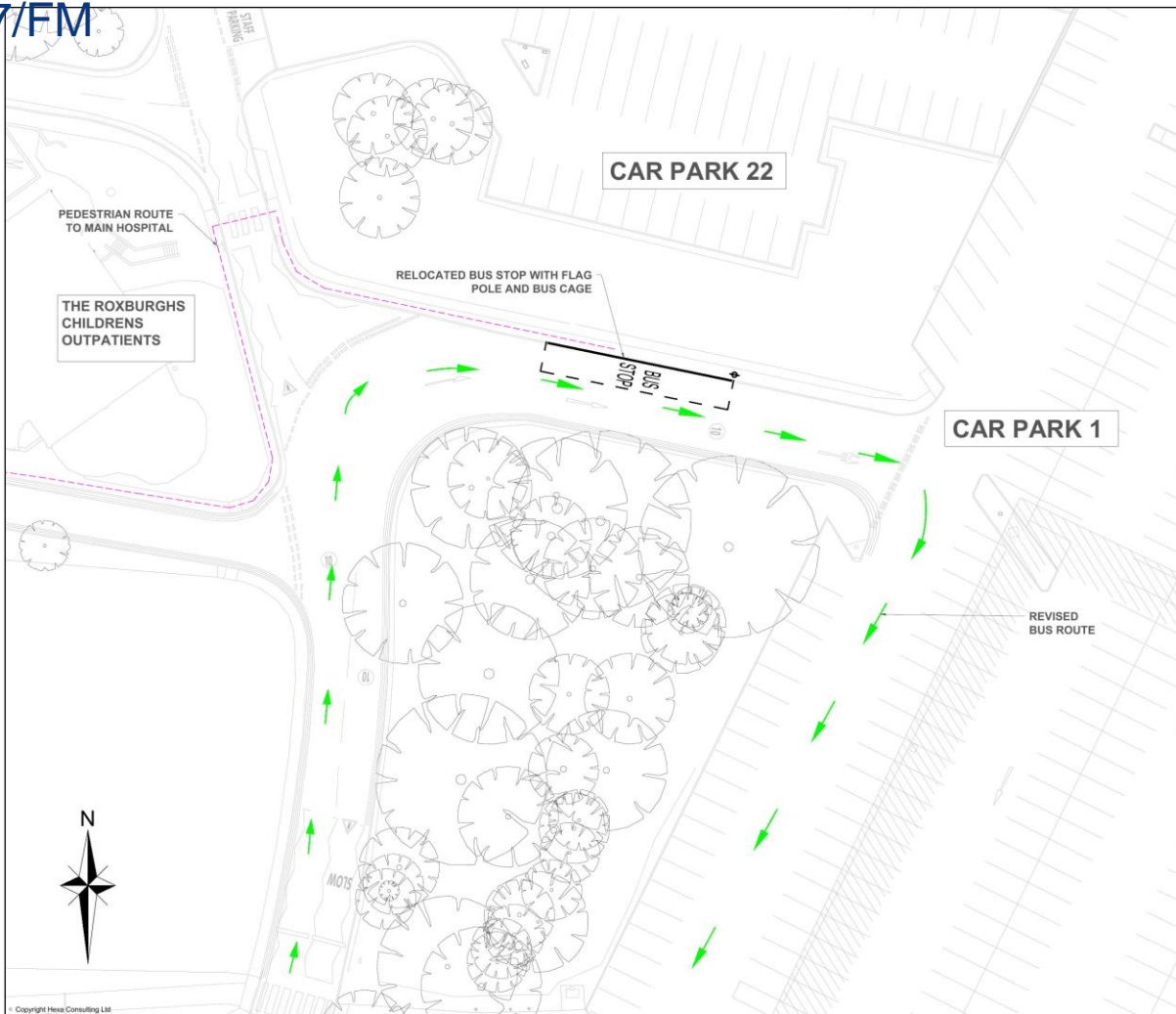
Issues & Revisions

Client
EXI ON BEHALF OF QEHL

Project Title
QEH KINGS LYNN MSCP

Drawing Title
REVISED BUS ROUTE

Drawn:	C. WHITNELL	Reviewed:	M. PRICE
Issue Ref:	600544	Scale:	A2 1:1000
Purpose of Issue:	Work in Progress		Status: S0
Project - Originator - Zone - Level - Type - Role - Number	600544-HEX-00-00-DR-TP-0100		Rev: P01



- Notes**
1. Do not scale this drawing. All dimensions are in millimetres unless noted otherwise. All dimensions on site if in doubt ask.
 2. This drawing is to be read in conjunction with all relevant architects, engineers and specialists drawings and specifications.
 3. All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
 4. Any discrepancies noted on site are to be reported to the engineer immediately.

Key Plan

Legend

P01	18.10.22	Updated Issue	CW	MP
P01	07.10.22	Preliminary Issue	CW	MP
Rev	Date	Details of Issue / Revision	Draw	Rev

Issues & Revisions



Client
EXI ON BEHALF OF QEHL

Project Title
QEH KINGS LYNN MSCP

Drawing Title
BUS STOP RELOCATION

Drawn:	C. WHITNELL	Reviewed:	M. PRICE
Issue Ref:	600632	Scale/A2:	1:250
Purpose of Issue:	Work in Progress		Status S0
Project - Originator - Zone - Level - Type - Role - Number	600544-HEX-00-00-DR-TP-0200		Rev P02



Notes

1. Do not scale this drawing. All dimensions are in millimetres unless stated otherwise.
2. This drawing is to be read in conjunction with all relevant architects, engineers and specialists drawings and specifications.
3. All dimensions in millimetres unless noted otherwise. All levels in metres unless noted otherwise.
4. Any discrepancies noted on site are to be reported to the engineer immediately.

Key Plan

Legend

PI02	18.10.22	Planning Issue	AH	MP
PI01	15.09.22	Preliminary Issue	ND	MP
Rev	Date	Details of issue / revision	Drawn	Drawn

Issues & Revisions



Client
EXI ON BEHALF OF QEHL

Project Title
QEHL MSCP

Drawing Title
HOSPITAL MSCP ACCESS

Drawn:	N.DAVIE	Reviewed:	M.PRICE
Hexa Ref:	600544	Scale:	A2 AS SHOWN

Purpose of Issue	Planning	Status	S2
------------------	----------	--------	----

Project - Originator - Zone - Level - Type - Role - Number	Rev
600544-HEX-00-00-DR-TP-0400	P02

63



KEY LEGEND

- Existing Trees & Vegetation Retained
- Existing Trees & Vegetation Removed
- Proposed Trees
- Proposed Multistem Trees
- Proposed Small Trees
- Proposed Mobile Green Screens
- Proposed Shrubs
- Proposed Flowering Lawn Seed Mix (Ermongate SL1 Sown @ 4kg/m²)

KEY HARD

- Vehicle Grade Tarmac
- Vehicle Grade Toleromere 240 Charcoal
- Permeation Grade Tarmac
- Toleromere Hydrogrape Fusion Duo - Colour Silver
- Toleromere Hydrogrape Fusion Duo - Colour Granite
- Bench Seating See Image

1.0 DRAWING INFORMATION
 1.1 This East Midlands Landscaping drawing is based upon: HS541-EXI-103-P1-Proposed GA Site Plan
 2.0 See in conjunction with EML EXI 1202 Landscape Specification & Management

Plant	Landscaping Schedule	Height	Light	Specification	Plant Size/Number
10 CAR VES	10 CAR VES	1.0m	Full Sun	10 CAR VES 1.0 FT TENDL	10 x 10
2 ACCENTUATORS	2 ACCENTUATORS	2.0m	Full Sun	2 ACCENTUATORS 2.0 FT TENDL	2 x 2
MOBILE GREEN SCREENS	MOBILE GREEN SCREENS	1.5m	Full Sun	MOBILE GREEN SCREENS 1.5 FT TENDL	10 x 10

Plant	Plant Name	Height	Light	Specification	Plant Size/Number
10 CAR VES	10 CAR VES	1.0m	Full Sun	10 CAR VES 1.0 FT TENDL	10 x 10
2 ACCENTUATORS	2 ACCENTUATORS	2.0m	Full Sun	2 ACCENTUATORS 2.0 FT TENDL	2 x 2

Plant	Plant Name	Height	Light	Specification	Plant Size/Number
MOBILE GREEN SCREENS	MOBILE GREEN SCREENS	1.5m	Full Sun	MOBILE GREEN SCREENS 1.5 FT TENDL	10 x 10
SHRUBS	SHRUBS	1.5m	Full Sun	SHRUBS 1.5 FT TENDL	10 x 10

Plant	Plant Name	Height	Light	Specification	Plant Size/Number
MOBILE GREEN SCREENS	MOBILE GREEN SCREENS	1.5m	Full Sun	MOBILE GREEN SCREENS 1.5 FT TENDL	10 x 10
SHRUBS	SHRUBS	1.5m	Full Sun	SHRUBS 1.5 FT TENDL	10 x 10

Plant	Plant Name	Height	Light	Specification	Plant Size/Number
MOBILE GREEN SCREENS	MOBILE GREEN SCREENS	1.5m	Full Sun	MOBILE GREEN SCREENS 1.5 FT TENDL	10 x 10
SHRUBS	SHRUBS	1.5m	Full Sun	SHRUBS 1.5 FT TENDL	10 x 10

Rev.	Comments	Date
E	Updated to suit cycle parking	14.03.2023
D	Changed amelanchier species	19.10.2022
C	Note removed from drawing	06.10.2022
B	Changed to latest site layout	04.10.2022
A	Change from turf to seed specification	20.09.2022

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East Midlands Landscaping Limited
 Landscape Design, Management & Consultancy
 Title: Proposed Landscaping Plan
 Client: EXI Group
 Project: MSCP QEH King's Lynn

DWG No. EML EXI 1202 01
 Status: For Approval Date: 14.03.2023
 Drawn: HC Reviewed: E
 Checked: JK Scale: 1:250 @ A1
 The Knoll, Leicester Road, East Midlands, Leicester, LE19 7J
 Tel: (01455) 802020
 email: jon.king@eastmidlandslandscaping.co.uk

Broxop Sherwood Bench Colour to Match Building



Toleromere Hydrogrape Fusion Duo



Mobile Green Screens



64



14	2012-09	Site plan (revision 000001)	1:1	1:1
15	2012-09	Site plan (revision 000002)	1:1	1:1
16	2012-09	Site plan (revision 000003)	1:1	1:1
17	2012-09	Site plan (revision 000004)	1:1	1:1
18	2012-09	Site plan (revision 000005)	1:1	1:1



client: The Q&E King's Lynn NHS Foundation Trust
 job: Q&E Temporary Displaced Car Parking
 title: Location Plan
 drawn: HC date: 05.10.2022
 checked: LV scale (A7): 1:1250
 suitability: S2 purpose: Planning

file ref: HSB44-EXI-100-F4
 The Water Tower, 16-17 Park Avenue, Coventry, CV1 4JH
 +44 (0)24 7619 2100 www.exi-uk.com



View looking north from Winston Churchill Drive



View looking northwest from junction of Winston Churchill Drive



View looking north from Gayton Road – site of Phase 1



69

View looking northwest from Gayton Road



70

View looking west from Helicopter Landing Area



View looking southwest from top of bunding (parallel to the A149)



View looking southwest from existing main car park



73

View looking southwest towards the junction of Winston Churchill Drive



View looking south towards Gayton Road / main entrance to QEH – site of Phase 2



View looking east from the main entrance to QEH



View looking east from Gayton Road, just east of the main entrance to QEH



View looking south west from Gayton Road towards adjacent properties



View looking south from Gayton Road towards Winston Churchill Drive



View looking east from Gayton Road towards A149 roundabout



View looking northeast from existing QEH car park towards Bawsey Ruins



View from slip road that runs adjacent to Gayton Road



View from 'Hospital' roundabout



View from mini roundabout



84

View from Spot Lane / Crow's Wood (a Schedule Monument)

85



View from remains of Church of St James

Speaker: Simon Houldcroft

99



Aerial View of the Existing QEH Site.



Proposed development site outlined in red

Ground Floor General Arrangement Plan.



PLAN_ Ground Floor Layout
1:200

Massing Model of Proposed Development.



Phase 1 and 2 of the Proposed MSCP.



Phase 1

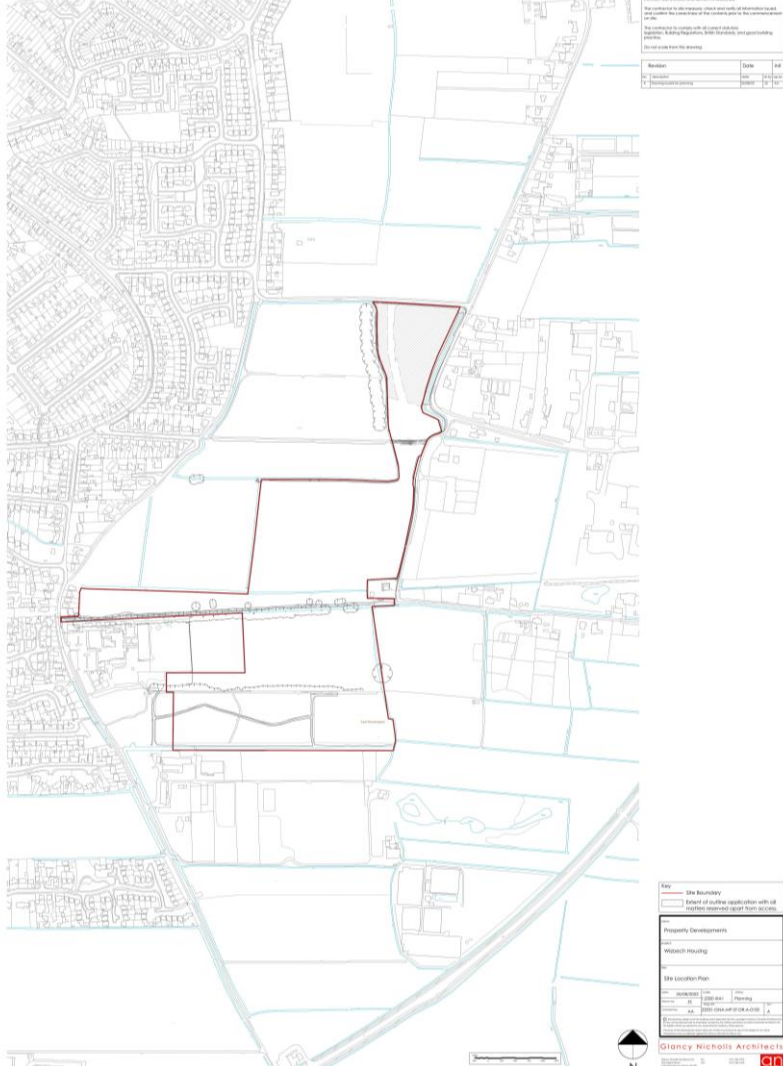


Phase 2

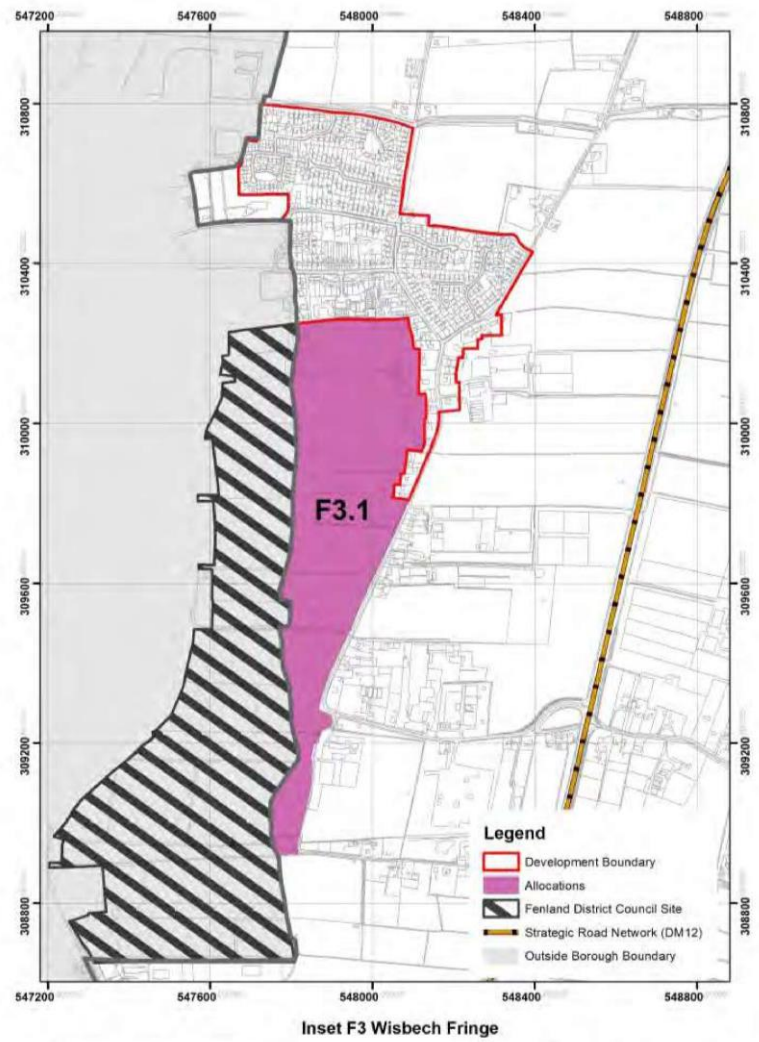
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92









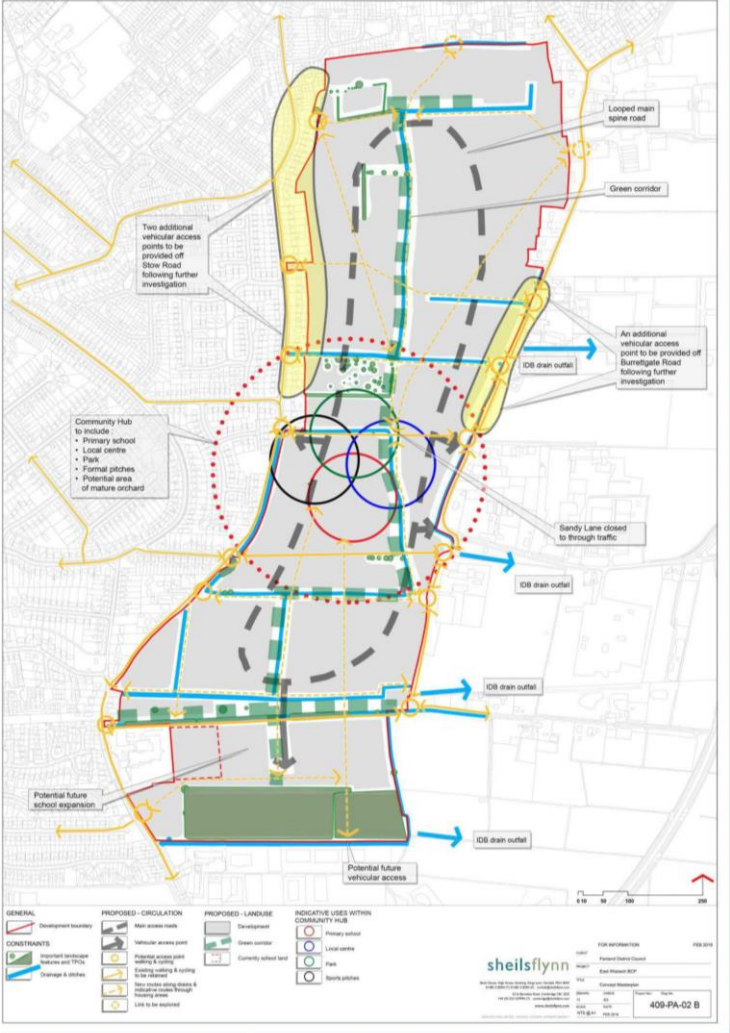


Figure 19: BCP Main Diagram





08



Example Street Scene



66





100



101



Sandy Lane

Broadend Road

View north-westwards from Green Lane

102



View westwards along public footpath midway along Green Lane





View westwards alongside Whitecross (Green Lane)



104



View NW from Green Lane (north of Whitecross)





View northwards from Green Lane (north of Whitecross)

106



View westwards along public footpath off Green Lane

22/01987/FM





Legend

Site Boundary

Figure Title
Existing Site Plan

Project Name
Meerdyke Solar Farm

Project Number 1620013921	Figure No. 2.1a
Date November 2022	Prepared By CT
Scale 1:5,000 @A3	Issue 1

Client
Downing Renewable Developments

RAMBOLL





Legend

Site Boundary

Figure Title
Existing Site Plan

Project Name
Meerdyke Solar Farm

Project Number 1620013921	Figure No. 2.1b
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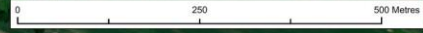
Date November 2022	Prepared By CT
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Scale 1:5,000 @A3	Issue 1
----------------------	------------

Client
Downing Renewable Developments



E:\1620013921\1620013921_05.dwg



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Maxim, Microsoft

Coordinate System: British National Grid. Projection: Transverse Mercator. Datum: OSGB 1936.



Legend

- Site Boundary
- Temporary Construction Compound A
- Temporary Construction Compound B
- Palisade Fence
- Access Tracks
- Access Tracks (50cm Buffer)
- Security Fence (5m Buffer)
- Landscaping (5m Buffer)
- Solar Modules

Figure Title Proposed Site Plan	
Project Name Meerdyke Solar Farm	
Project Number 1620013921	Figure No. 2.2a
Date November 2022	Prepared By CT
Scale 1:5,000 @A3	Issue 1
Client Downing Renewable Developments	

110



Legend

- Site Boundary
- Temporary Construction Compound A
- Temporary Construction Compound B
- Access Tracks
- Access Tracks (50cm Buffer)
- Security Fence (5m Buffer)
- Landscaping (5m Buffer)
- Solar Modules

Figure Title Proposed Site Plan	
Project Name Meurdyke Solar Farm	
Project Number 1620013921	Figure No. 2.2b
Date November 2022	Prepared By CT
Scale 1:5,000 @A3	Issue 1
Client Downing Renewable Developments	

111

Structure Front View

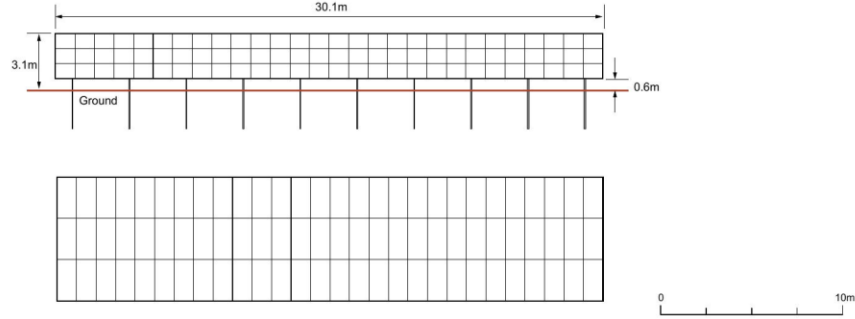
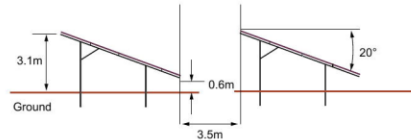


Table Post Type



Concrete Base Type

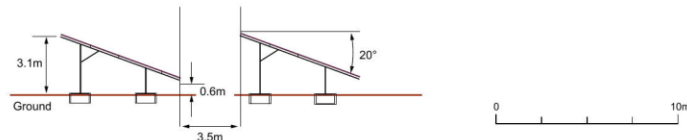

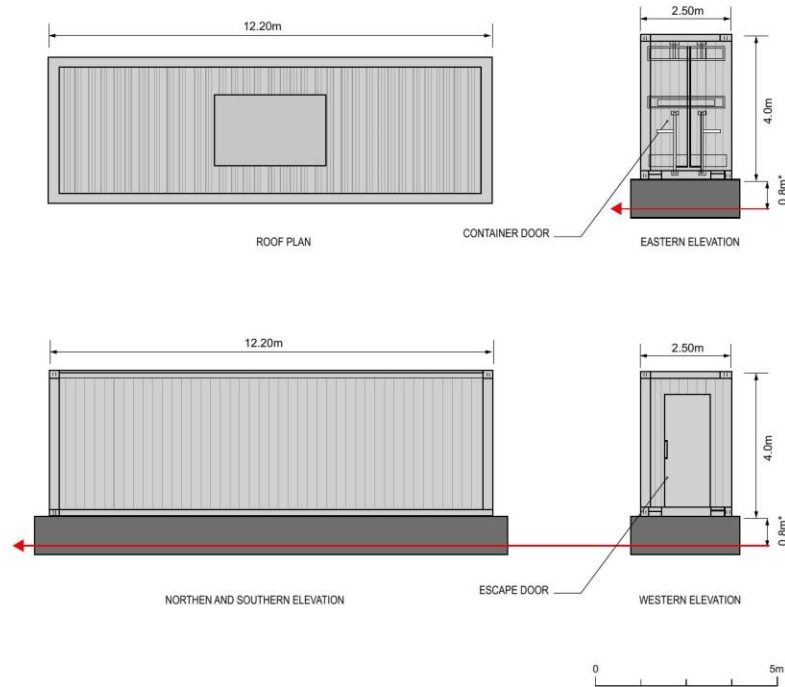


Figure Title Typical Array Details	
Project Name Meerdyke Solar Farm	
Project Number 1620013921	Figure No. 2.3
Date November 2022	Prepared By JBM
Scale 1:200 @ A3	Issue 1
Client Downing Renewable Developments	
	

113



*Maintenance Clearance Elevation
← Nominal Ground Level

Figure Title
Typical Battery Storage Details

Project Name
Meerdyke Solar Farm

Project Number 1620013921	Figure No. 2.4
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Date November 2022	Prepared By JBM
-----------------------	--------------------

Scale 1:100 @ A3	Issue 1
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Client
**Downing Renewable
Developments**



114

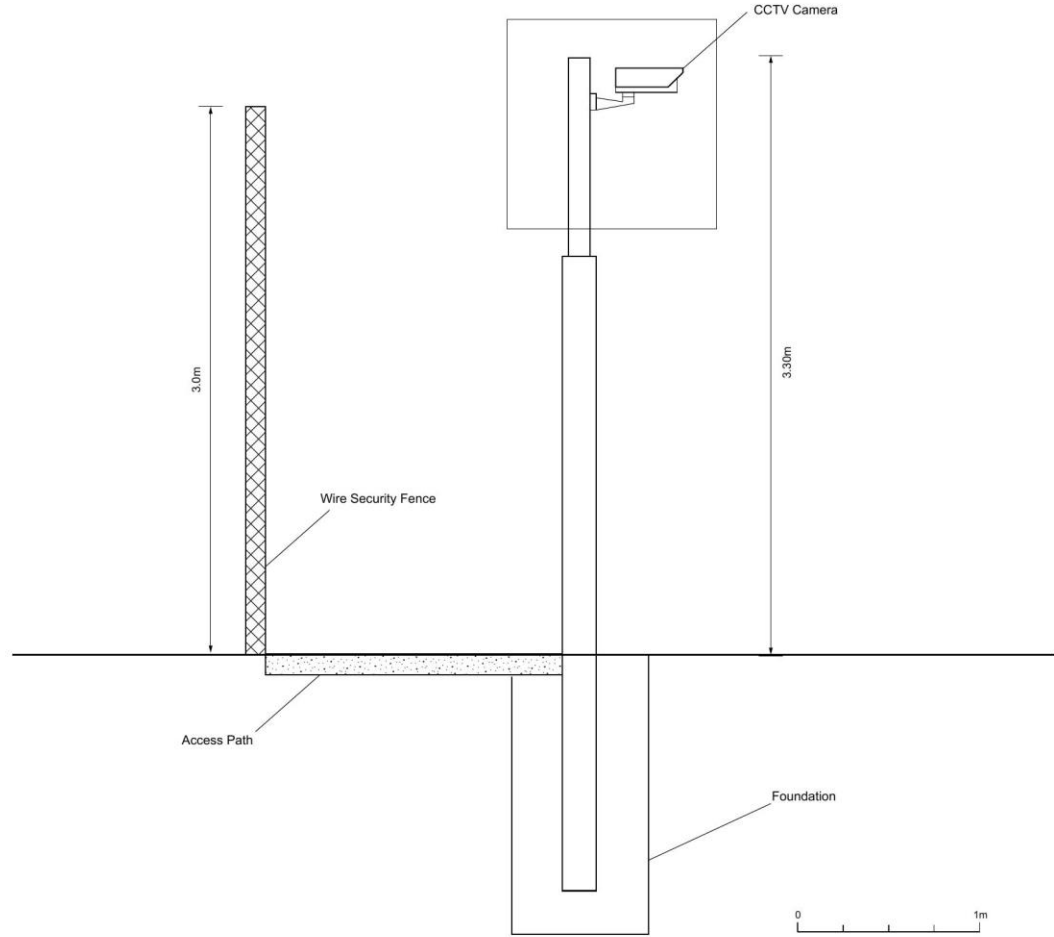


Figure Title
Typical Fence and CCTV Details

Project Name
Meurdyke Solar Farm

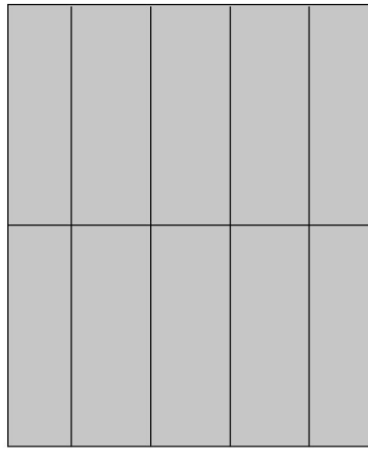
Project Number 1620013921	Figure No. 2.6
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Date November 2022	Prepared By JBM
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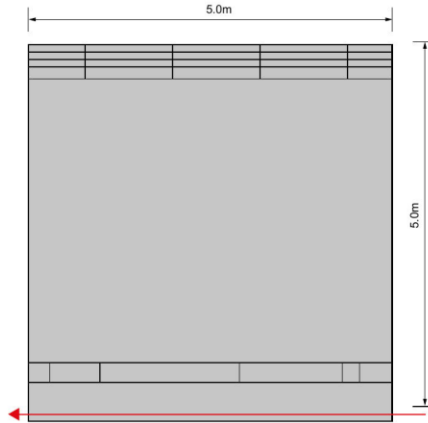
Scale 1:20 @ A3	Issue 1
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Client
**Downing Renewable
Developments**

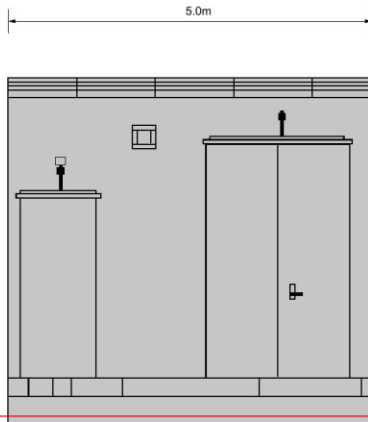




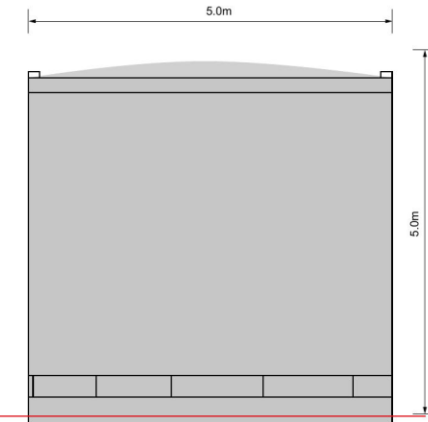
ROOF PLAN



END ELEVATION

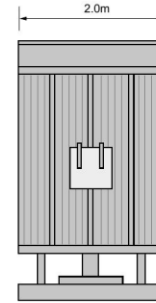


FRONT ELEVATION

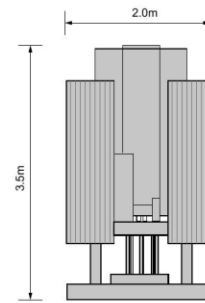


END ELEVATION

Typical Transformer (Unhoused) shown below



NORTHERN ELEVATION



EASTERN AND WESTERN ELEVATION



← Nominal Ground Level

Note: The Transformer and Switchgear will be housed within the housing at the Meerdyke Substation Compound

Figure Title
Typical Switchgear and Transformer Housing

Project Name
Meerdyke Solar Farm

Project Number
1620013921

Figure No.
2.5

Date
November 2022

Prepared By
JBM

Scale
1:50 @ A3

Issue
1

Client
Downing Renewable Developments





116



Poplar Farm





119





Application site





Linward

Meerdyke Farm



121





122





124



125



126



127



22/01151/FM

128



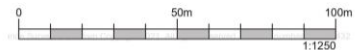
Figure 2

KEY

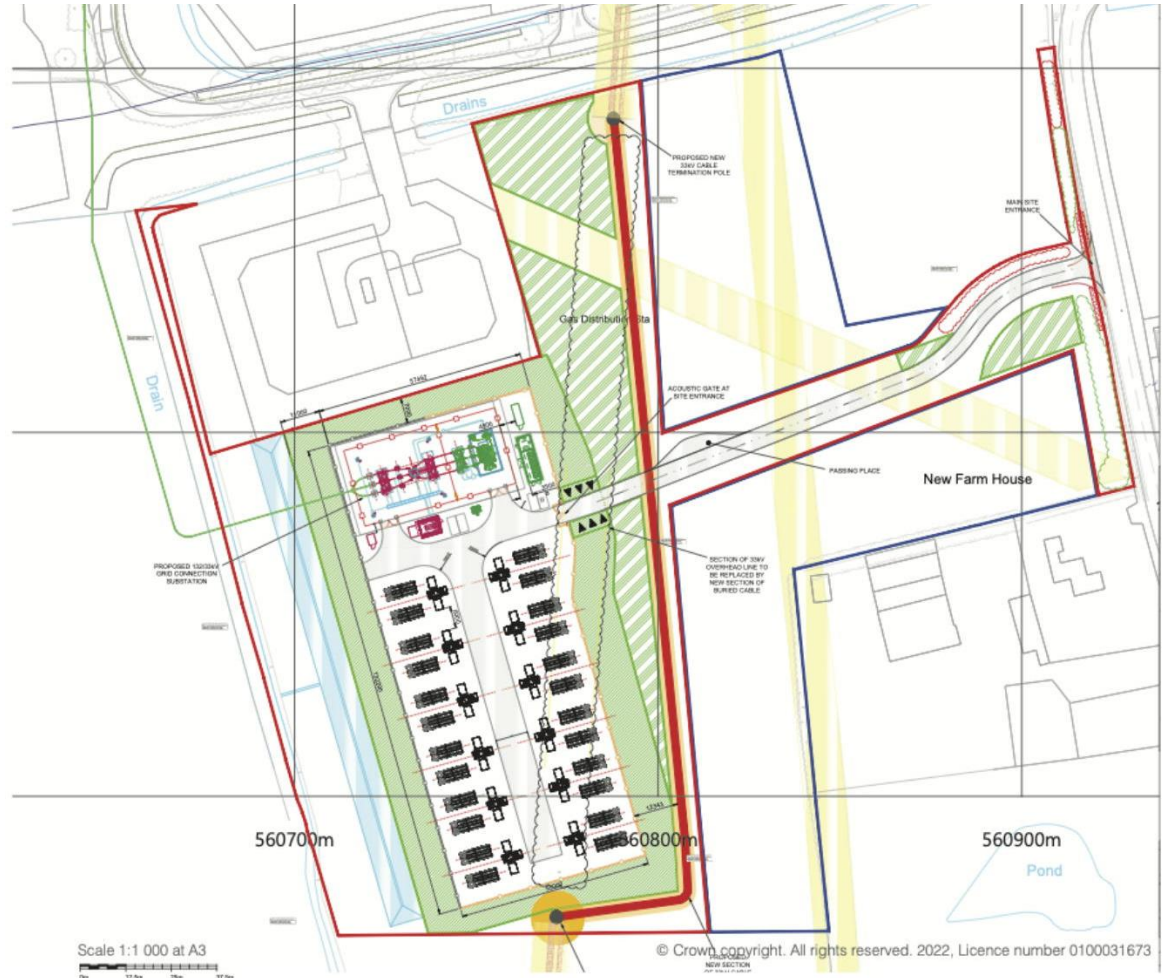
-  North
-  Proposed Development Boundary
-  Other Land Under Applicants Control



129



130



KING'S LYNN BESS
Proposed Site Layout

Figure 4

- NOTES**
1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELEVANT DOCUMENTS AND SPECIALISTS DRAWINGS & SPECIFICATIONS.
 2. ANY DISCREPANCIES BETWEEN THIS DRAWING AND ANY OTHER TO BE REFERRED TO THE DESIGNER IMMEDIATELY.
 3. ALL WORKS TO COMPLY WITH THE LATEST CURRENT BRITISH STANDARDS.
 4. ALL DIMENSIONS IN MILLIMETERS UNLESS STATED OTHERWISE.
 5. ALL DIMENSIONS TO BE AS SHOWN UNLESS SPECIFIED OTHERWISE.

- KEY**
- PLANNING APPLICATION BOUNDARY
 - OTHER AREAS IN THE APPLICANT'S CONTROL
 - 3.9m HIGH WELDMESH FENCE
 - 3.9m HIGH ACOUSTIC FENCE
 - PLANTING AREAS
 - ENHANCED HEDGEROW PLANTING & EMBANKMENT
 - PROPOSED HEDGEROW PLANTING & EMBANKMENT
 - EXISTING HEDGEROW TO BE REMOVED
 - EXISTING 12m EASEMENTS (GAS AND CABLE)
 - PROPOSED EASEMENT FOR 33kV UNDERGROUND CABLE
 - 2m HIGH PLANTED BUND
 - SWALE

PREPARED BY

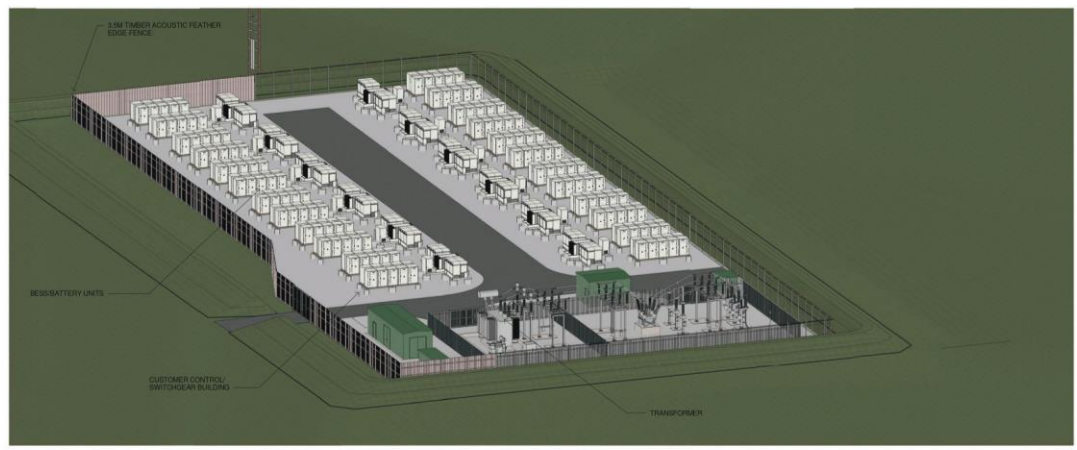


ON BEHALF OF



A Client of





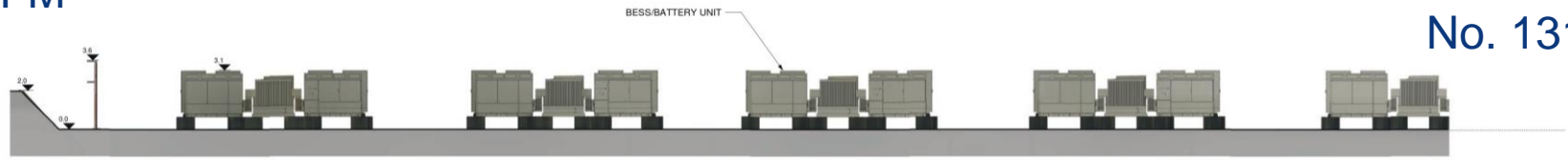
1 ISOMETRIC VIEW - N



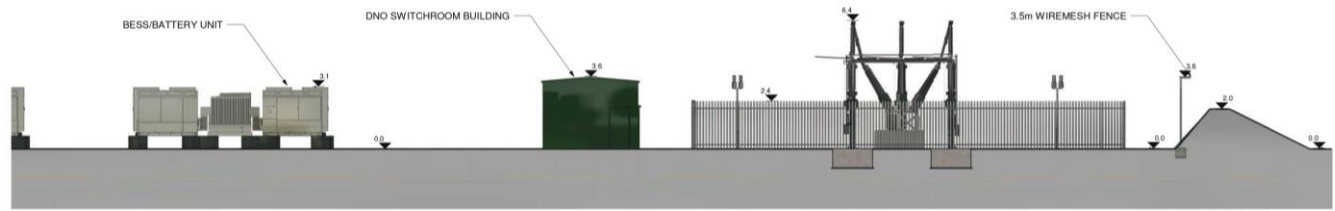
2 ISOMETRIC VIEW - S

131

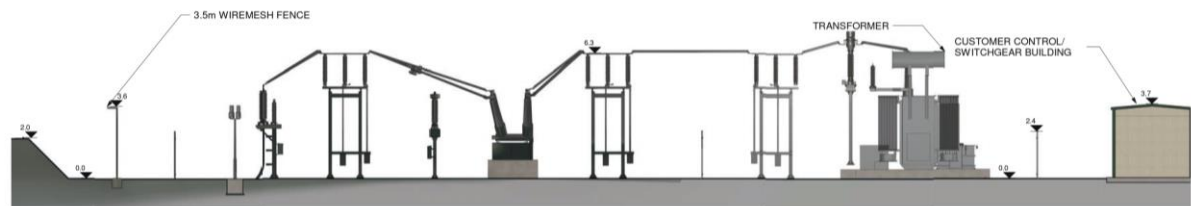




A SECTION A
Scale 1:200 at A3



B Section B
Scale 1:200 at A3



C Section C
Scale 1:200 at A3

KING'S LYNN BESS

Proposed Site Sections without Landscape Mitigation

Figure 15 (Sheet 3 of 3)

132

PREPARED BY



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A Client of





Scale 1:1 000 at A3

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Figure 16

- LEGEND
- Proposed native tree planting
 - Proposed native tree planting
 - Proposed native hayflower mixture
 - Proposed wildflower mixture
 - Proposed wetland seed mixture
 - Proposed native buffer planting
 - Proposed access road surfacing
 - Application boundary
 - Other land within Applicant's Control

PREPARED BY

**LIZ LAKE
ASSOCIATES**

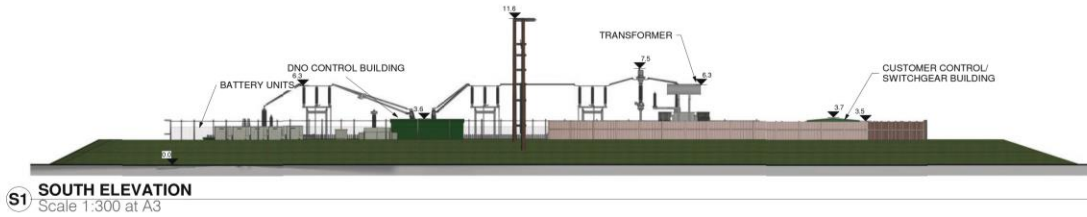
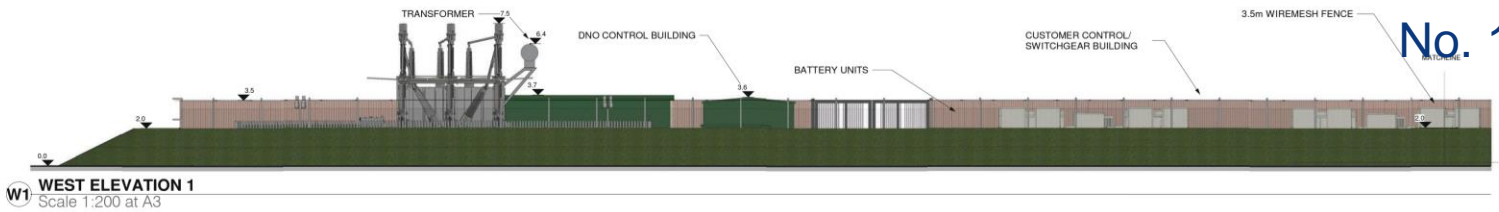
LANDSCAPE ARCHITECTS

ON BEHALF OF



A Client of





KING'S LYNN BESS
Proposed West, North and South External Elevations without Landscape Mitigation
Figure 15 (Sheet 2 of 3)

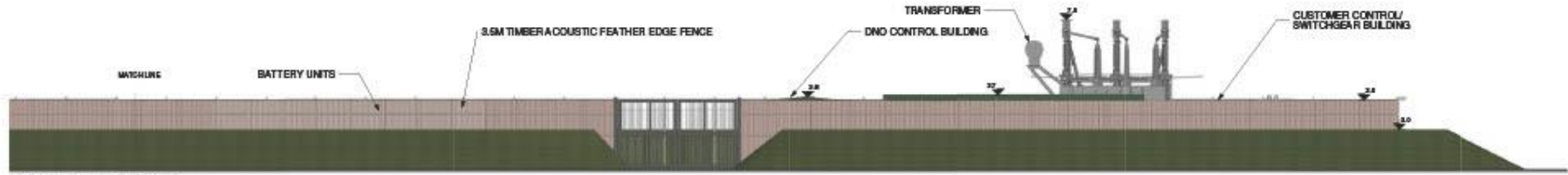
134



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E1 EAST ELEVATION 1 Scale 1:100 at A3



E2 EAST ELEVATION 2 Scale 1:200 at A3

136



ELEVATION 1 / SCALE 1:200 @ A1

YEAR 5 NORTH



ELEVATION 2 / SCALE 1:200 @ A1

YEAR 5 SOUTH



ELEVATION 3 / SCALE 1:200 @ A1

YEAR 5 EAST



ELEVATION 4 / SCALE 1:200 @ A1

YEAR 5 WEST



ELEVATION 1 / SCALE 1:200 @ A1

FULLY ESTABLISHED NORTH



ELEVATION 2 / SCALE 1:200 @ A1

FULLY ESTABLISHED SOUTH



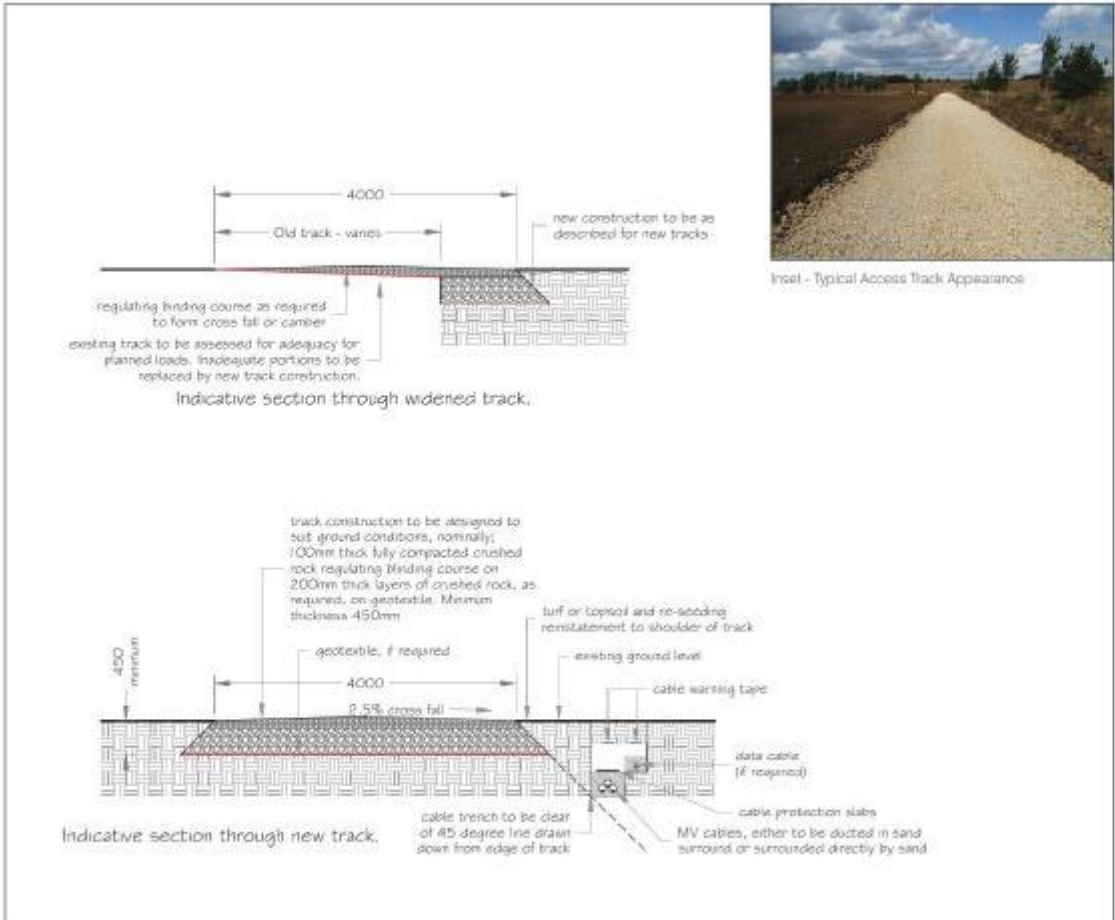
ELEVATION 3 / SCALE 1:200 @ A1

FULLY ESTABLISHED EAST



ELEVATION 4 / SCALE 1:200 @ A1

FULLY ESTABLISHED WEST



KING'S LYNN BESS

Typical Access Track Detail

Figure 12

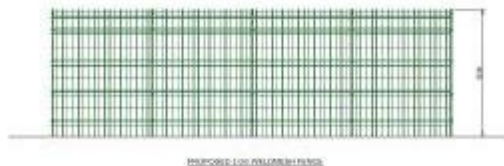
NOTES

- 1 All measurements in millimetres, unless stated otherwise
- 2 The thickness of the gravel layer depends on the load-bearing capacity of the subsoil and must be taken from the soil expertise
- 3 The gravel must be placed in layers and compacted. Information on this and the proctor density to be achieved can also be found in the soil report
- 4 The required number of ductworks must be determined and can be higher than shown in the drawing.

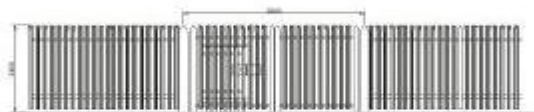
KING'S LYNN BESS

Proposed Fence and Gate Details

Figure 13



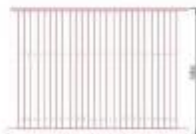
PROPOSED 1.0m HIGH WHITE FENCE



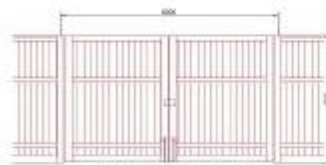
PROPOSED 1.0m HIGH WHITE FENCE & GATE



PROPOSED 1.0m HIGH ACoustic FENCE
Internal Face - Timber posts and Concrete Posts



PROPOSED 1.0m HIGH ACoustic FENCE
External Face - Timber Posts



PROPOSED 1.0m HIGH ACoustic GATE
Internal Face

139



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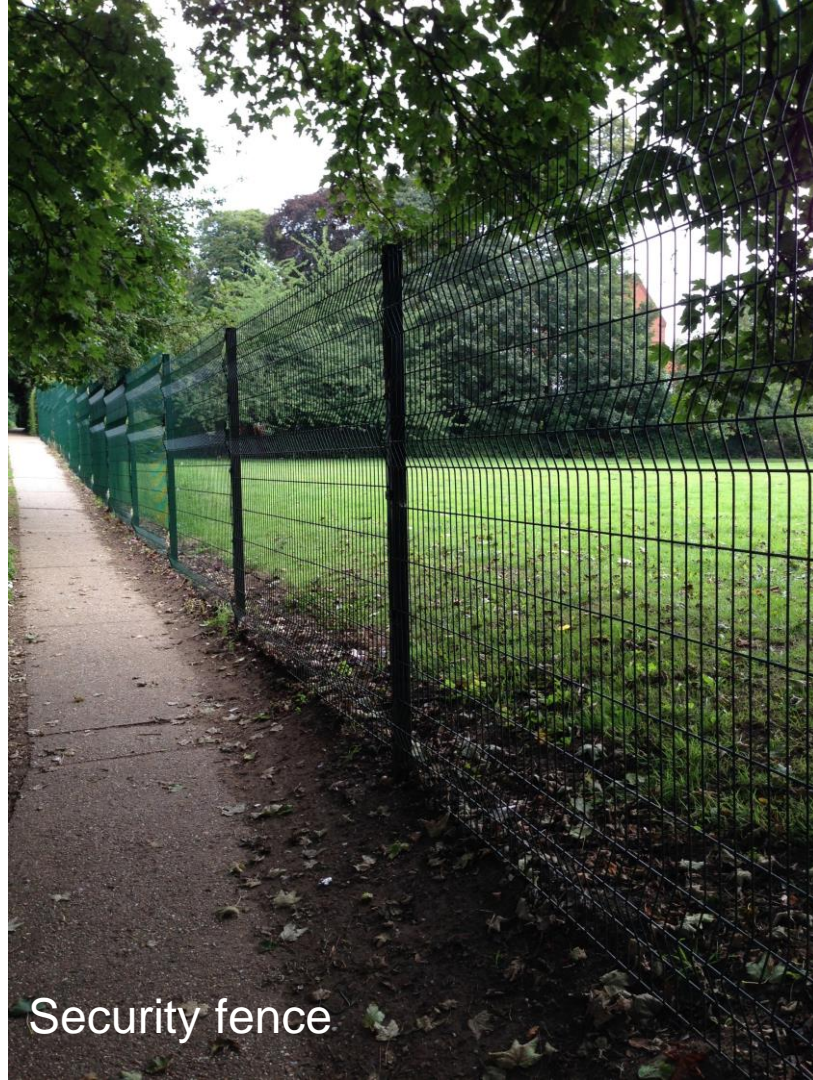
140



Example of acoustic fence



141



Security fence



142



Example image of existing BESS development

143



View southwards along High Road from junction with footpath



Pressure Reducing Metering Station



144

Nos. 1 & 2 High Road



New Farm House



145



View southwards from midway along footpath



Pressure Reducing
Metering Station



146

View southwards of site from footpath



147



Pressure Reducing Metering Station viewed from footpath

148

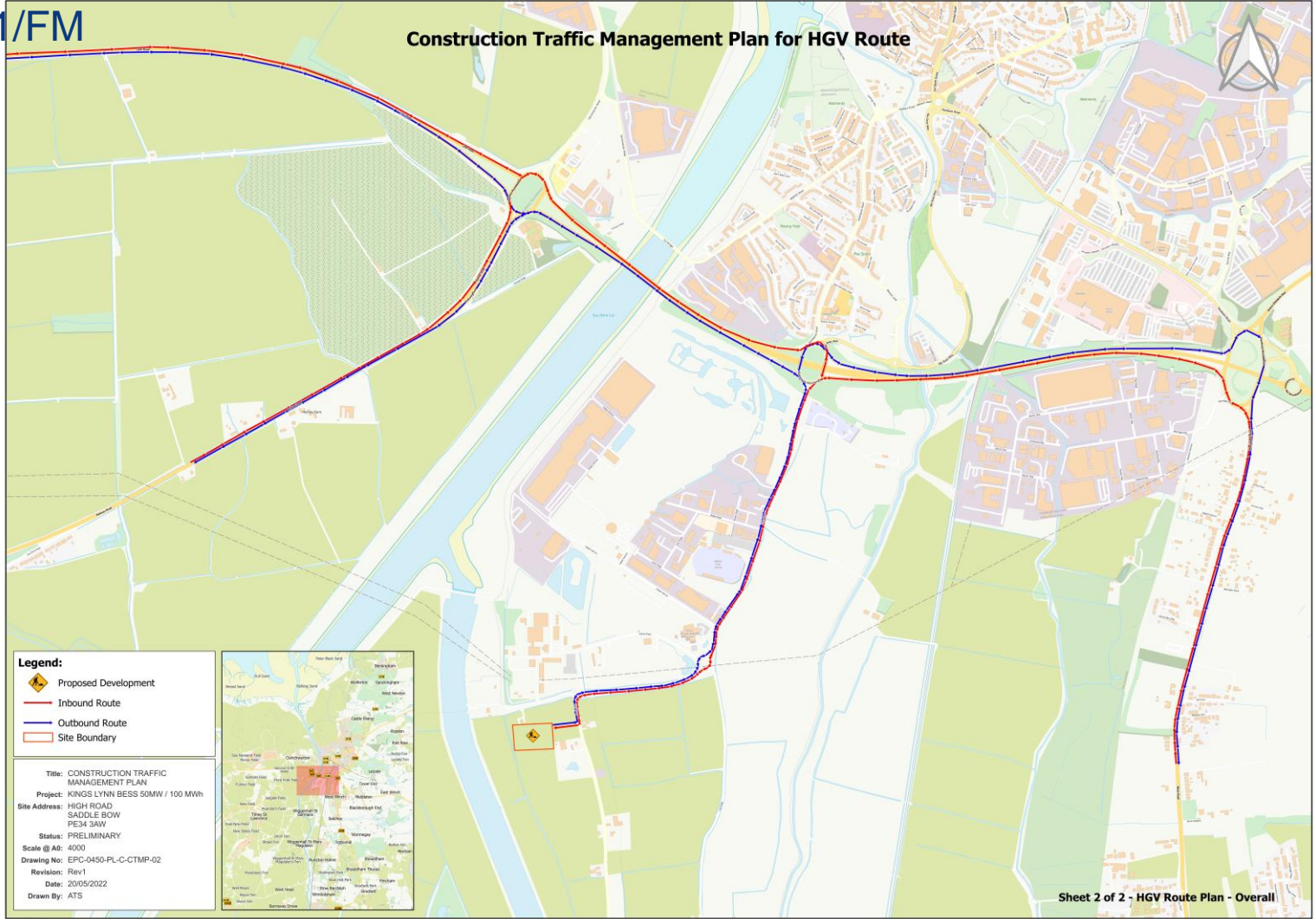


View of sub-station and Power Station to North of footpath



Construction Traffic Management Plan for HGV Route

149



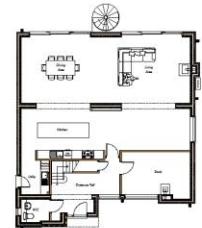
22/02135/F

150

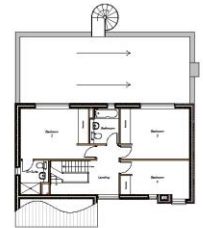


152

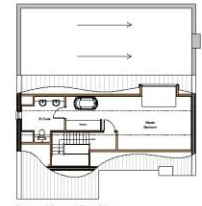
Proposed Elevations
Scale 1:150



Proposed Ground Floor Plan
Scale 1:150



Proposed First Floor Plan
Scale 1:150



Proposed Second Floor Plan
Scale 1:150



Location Plan
Scale 1:1000



Proposed Site Plan
Scale 1:150

No.	Date	Revisions	Drawn
1	22/02/2024	Initial Design	AS

STRATA
ARCHITECTS

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Email: info@strataarchitects.co.uk

Plot 12
The Green
King's Lynn

Title:
Proposed Final Dwelling
Proposed Site and Location Plan
Proposed Floor Plans and Elevations

Scale: As Shown (GSI) Ref: 22/11/0002

Title: EA
Number: A

Working number: Planning

Project: 542-11 A

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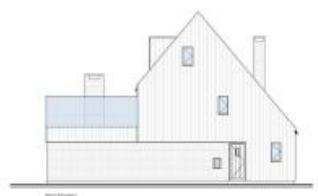
West Elevation



South Elevation



East Elevation



North Elevation



Proposed Ground Floor Plan
Scale 1:100



Proposed First Floor Plan
Scale 1:100



Proposed Second Floor Plan
Scale 1:100



Location Plan
Scale 1:1000



Proposed Site Plan
Scale 1:100

153

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RESIDENTIAL

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Tel: 01553 461238 Fax: 01553 461239
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Project:
Plot 12
The Olden
King's Lynn

For:
Proposed New Dwelling
Proposed Site and Layout Plan
Proposed Floor Plans and Elevations

Drawn: Ak Sharma (GA1) Date: 25/11/2022
Scale: SA Checked: JA

Drawing issued for: Planning

542-11 Rev. C

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154



155



Views of the neighbouring property positioned to the east of the site

156



Looking to the north of the site

157



Views of Lynn Road from the site

158



Views of the site from Lynn Road



22/01913/F





DISCLAIMER
 Plans are prepared by the Architect on behalf of the Client and are not to be used for any other purpose without the written consent of the Architect. The Architect is not responsible for any errors or omissions in the plans or for any consequences arising therefrom. The Client is advised to seek professional advice from a qualified professional before relying on the plans. The Architect is not responsible for any errors or omissions in the plans or for any consequences arising therefrom. The Client is advised to seek professional advice from a qualified professional before relying on the plans.

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DATE
 2022/01/13

SCALE
 1:100

BY
 [Signature]

FOR
 [Signature]

- MATERIALS KEY:**
- 1. Red Plywood
 - 2. Cladding (type to be confirmed)
 - 3. Flat roof
 - 4. Red brick



162

Superseded plan



PROPOSED PLOT 2 FRONT ELEVATION



PLOT 2 PROPOSED REAR ELEVATION

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CLIENT: [Name]

DATE: [Date]

SCALE: [Scale]

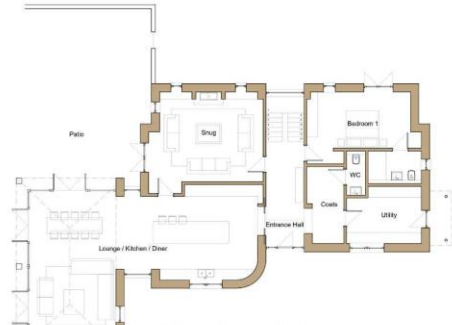
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LOCATION: [Location]

DESIGNER: [Designer Name]

CONTACT: [Contact Information]

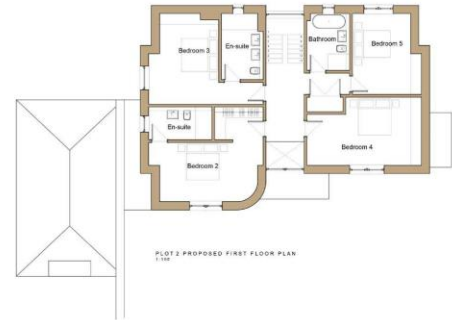
- MATERIALS KEY:**
- 1. Red Plaster
 - 2. Cladding (type to be confirmed)
 - 3. Flat roof
 - 4. Red brick



PLOT 2 PROPOSED GROUND FLOOR PLAN



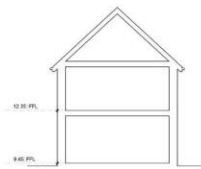
PLOT 2 PROPOSED SIDE ELEVATION



PLOT 2 PROPOSED FIRST FLOOR PLAN



PLOT 2 PROPOSED SIDE ELEVATION



PROPOSED SECTION



166

167



Front elevation of Lombardy

168



Facing north-east towards West End Cottages

169



170



Facing north-east towards West Hatch Cottage

171



Facing north-west towards Marmalade Cottage

172



Western site boundary - Marmalade Cottage

173



Rear of Lombardy (and Marmalade Cottage)

174



Rear of Lombardy facing south-east towards West End Cottages where new driveway will be located



175



Rear of Lombardy – western boundary

176



Rear of Lombardy – north-west boundary showing commercial caravan site



177



178



Rear of Lombardy – facing south-east towards West Hatch Cottage

179



Rear of Lombardy – wider eastern boundary

180



181



Street scene



182



Street scene facing east towards West End Cottages

183



Street scene facing west from West End Cottages

184



Wider street scene facing west towards West End Cottages

END OF PRESENTATION

